

**SHIRE OF VICTORIA PLAINS
LOCAL PLANNING SCHEME NO.5**



NOTICE OF PUBLIC ADVERTISEMENT OF A PLANNING PROPOSAL

Planning and Development Act 2005
Shire of Victoria Plains

The local government has received a development application to use and/or develop land for the following purpose and public comments are invited.

Property Address:

Lot 2 (No.93) Mogumber-Yarawindah Road, Mogumber.

Proposal:

New tourist development and caravan park including various associated improvements.

Details of the proposal are attached including various supporting documentation and plans.

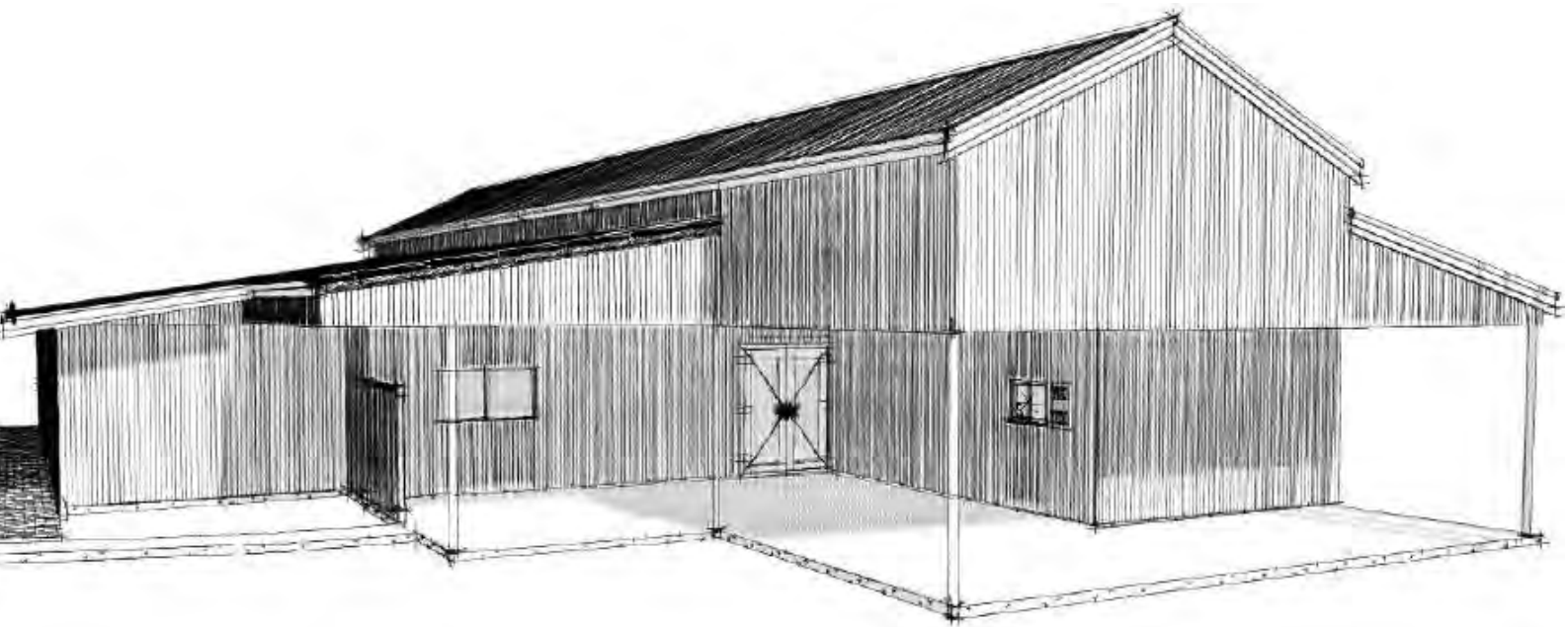
Comments on the proposal are now invited and can be emailed to reception@victoriaplains.wa.gov.au or posted to the Shire's Chief Executive Officer at PO Box 21 CALINGIRI WA 6569 by no later than **Friday 15 May 2026**. All submissions must include the following information:

- Your name, address and contact telephone number;
- How your interests are affected; whether as a private citizen, on behalf of a company or other organisation, or as an owner or occupier of property;
- Address of property affected (if applicable); and
- Whether your submission supports or objects to the proposal and reasons why.

All submissions received may be made public at a Council meeting and included in a Council Agenda, which will be available on the Shire's website, unless a submission specifically requests otherwise.

Sean Fletcher
Chief Executive Officer
Shire of Victoria Plains

13 April 2026



Proposed Tourist Development & Caravan Park

**Lot 2 (No. 93) Mogumber-Yarawindah Road,
Mogumber**

March 2026

Disclaimer:

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Prepared for:

Pauline & David Bantock

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Document Version Control

Ver.	Date	Description	Author	Approved
1	12/03/2026	Initial draft for client review	JP	JA

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1.0 Executive Summary

Altus Planning submits the following application for development approval on behalf of Pauline and David Bantock in support of a proposed Tourist and Caravan Park development at Lot 2 (No. 93) Mogumber-Yarawindah Road, Mogumber.

The proposal seeks to utilise both existing buildings on site and a cleared, vacant area of the property for the caravan park, ensuring that there are no adverse impacts created via the development of the proposal. Furthermore, the proposal will be subject to the enclosed Management Plan and will also be aided by an on-site caretaker/manager, ensuring that the proposed development and its occupants do not result in any adverse amenity impacts to the locality.

Finally, the proposal has been assessed as being consistent with all other applicable local planning scheme and policy requirements.

Accordingly, the proposal is considered to be one that will contribute positively to the mix of land uses in the locality. The proposal is therefore one that warrants approval under the Shire's local planning framework.



2.0 Background

2.1 Purpose

This submission has been prepared by Altus Planning on behalf of Pauline and David Bantock (**landowners**) to provide justification for the development application for a Tourist Development and Caravan Park (**proposed development or proposal**) at Lot 2 (No. 93) Mogumber-Yarawindah Road, Mogumber (**subject land or site**).

In accordance with the Shire of Victoria Plains (**Shire**)'s requirements, the following items are also included with this application:

- The Shire's Application for Development Approval Form;
- Certificate of Title (**Attachment 1**);
- Development Plans (**Attachment 2**);
- Operational Management Plan (**Attachment 3**);
- Bushfire Management Plan (**Attachment 4**); and
- Bushfire Emergency Plan (**Attachment 5**).

The application fee in accordance with the Shire's Schedule of Planning Fees can be paid by the landowner upon receipt of an invoice.

2.2 Site Description

The subject land is situated between Mogumber-Yarawindah Road (to the south) and the Moore River East (to the north). The site measures approximately 4.8796ha which currently comprises of a single house, a dam and several ancillary structures.

Within the immediate surrounding locality, land is generally used for agricultural purposes. Additionally, the Mogumber townsite is less than 1km away from the subject land, in a south-westerly direction.

An aerial image of the subject land and the immediate locality is provided at **Figure 1**.

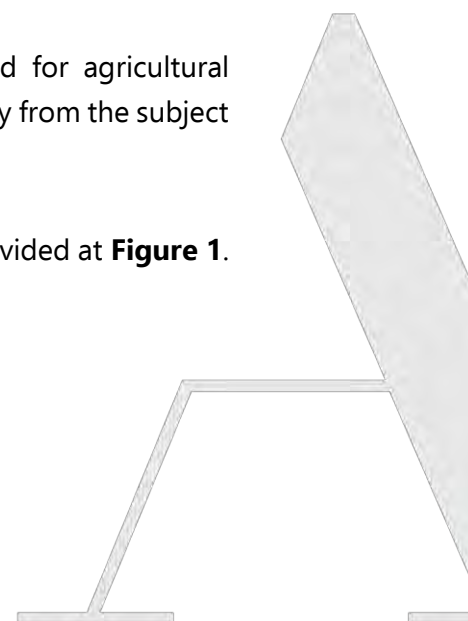




Figure 1: Locality Plan (Source: SLIP Locate 2025)

3.0 Proposal

This application seeks approval from the Shire to enable the subject land to be used for a tourist development site, with an area also set aside for a caravan park.

Other than tourists, the development would also allow for the accommodation for workers who need temporary housing due to the remote location of their work site or the nature of their jobs. These workers include, but are not limited to:

- Road construction crews.
- Service providers for electricity, water and telecommunication infrastructure.
- Construction workers and development teams on infrastructure projects.
- Mining and resource consultants.
- Seasonal agricultural workers.

Within the lodge, the building will cater for a maximum of eight (8) guests at any one time. The guests will have an individual bedroom; three (3) shared bathrooms; and, a shared kitchen, lounge and alfresco areas.

An existing outbuilding to the west of the lodge will be repurposed to house a caretaker (i.e. a facility required for the management of the proposal). This repurposed

area will require a fire wall, as shown on the submitted development plans, to ensure compliance with building legislation. The remainder of the area will be used as an incidental museum (i.e. not a standalone facility and linked to the tourist part of the proposal), which is used primarily for the guests staying at the site, largely displaying items that reflect Mogumber's history.

To the east of the site, a Caravan Park is proposed which will consist of the parking of caravans and tents. To cater for this area, a toilet/shower block and a campers' kitchen will be developed as a shared facility for guests.

Further details are provided within the Management Plan at **Attachment 3**.

4.0 Planning Framework

4.1 Shire of Victoria Plains Local Planning Scheme No. 5

4.1.1 Land Use

The subject land is zoned 'Rural' pursuant to the Shire's Local Planning Scheme No. 5 (**LPS5** or **Scheme**).

The proposal aligns with the land use definitions of 'Tourist Development' and a 'Caravan Park'. A 'Tourist Development' land use is defined in Part 6, Division 2 – Land Use Terms Used in Scheme of the Scheme as follows:

***tourist development** means a building, or a group of buildings forming a complex, other than a bed and breakfast, a caravan park or holiday accommodation, used to provide —*

- (a) *short-term accommodation for guests; and*
- (b) *onsite facilities for the use of guests; and*
- (c) *facilities for the management of the development;*

However, a 'Caravan Park' is not defined with the Scheme and therefore the definition under the *Planning and Development (Local Planning Schemes) Regulations 2015 (LPS Regulations)* is to be used. This is quoted below.

***caravan park** means premises that are a caravan park as defined in the Caravan Parks and Camping Grounds Act 1995 section 5(1);*

A 'Caravan Park' is defined under the *Caravan Parks and Camping Grounds Act 1995* as stated below/overleaf.

caravan park means an area of land on which caravans, or caravans and camps, are situated for habitation;

Pursuant to the Zoning Table of LPS5, a 'Tourist Development' land use is an 'A' use within the 'Rural' zone and therefore is capable of approval at the Shire's discretion and subject to advertising of the proposal. However, as the 'Caravan Park' is not listed within the Zoning Table of the Scheme, the Shire is to have consideration to clause 18(4) of LPS5:

- (4) *The local government may, in respect of a use that is not specifically referred to in the zoning table and that cannot reasonably be determined as falling within a use class referred to in the zoning table –*
- (a) *determine that the use is consistent with the objectives of a particular zone and is therefore a use that may be permitted in the zone subject to conditions imposed by the local government; or*
 - (b) *determine that the use may be consistent with the objectives of a particular zone and advertise under clause 64 of the deemed provisions before considering an application for development approval for the use of the land; or*
 - (c) *determine that the use is not consistent with the objectives of a particular zone and is therefore not permitted in the zone.*

The objectives of the 'Rural' zone are stated at clause 16 (Table – Zone objectives) of the Scheme as follows:

- *To provide for the maintenance or enhancement of specific local rural character.*
- *To protect broad acre agricultural activities such as cropping and grazing and intensive uses such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use.*



- *To maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage.*
- *To provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the Rural zone.*
- *To provide for a range of non-rural land uses where they have demonstrated benefit and are compatible with surrounding rural uses.*

The proposed development is considered to align with the objectives of the zone as:

- The development will be largely utilising existing buildings that are designed with a rural aesthetic to maintain the local rural character of the locality.
- Agricultural activity areas are not impacted as most of the physical development is already present and the site does not contain any agricultural activities. The area required for the caravan park can be easily removed and rehabilitated to prior conditions to allow for agricultural activities in the future, should the commercial situation change.
- The proposal does require the removal of some insignificant vegetation; however, this is considered to be adequately offset by the additional planting of trees within the tent site area. The proposed development is not expected to create any adverse impact to the surrounding environment (with particular reference to the Moore River to the north).
- The subject site is only bound by one rural zoned piece of land to the east of the site at Lot 1 Mogumber-Yarawindah Road. Due to the size of the adjacent property, it is not considered likely that any large-scale agricultural operations will be impacted. While a sensitive use is proposed on rural land, it is considered that the location of the site is acceptable when noting the adjacent neighbour's property size and also the proximity to the townsite.
- The benefit of this proposal will allow for much needed accommodation for rural workers and tourists in the Shire as there is currently a shortfall in accommodation. It is therefore considered that this proposal will have a direct benefit to the rural area, largely from an economic standpoint.

4.1.2 Car Parking

The Development Table contained within clause 28 of the Scheme sets out the requirements relating to development that are additional to those set out in other planning documents. As there is no set requirement contained within the Development Table for car parking for the proposed development this is to all be at the discretion of the Shire.

Due to the type of use proposed, all caravan and tent sites will allow for parking directly adjacent to the camp sites. In respect to the physical buildings, the large bitumen area will be able to readily accommodate parking, with parking available to the northwestern corner of the site. Considering the large space available, formal parking bays are not considered necessary.

4.1.3 Traffic & Access

Clause 37 of the Scheme outlines the requirements for a development that abuts a Primary Distributor Road. An assessment against these requirements is provided in the table below.

Requirement	Comment
<p>a) <i>Applications on roads under the care, control and management of Main Roads WA are to be referred by the local government to Main Roads WA and the local government is to have due regard to comments and recommendations provided by Main Roads WA when determining applications.</i></p>	<p>Noted.</p>
<p>b) <i>The proposal shall not intensify traffic movements which would limit the road to operate for its intended purpose or contribute to unsafe access and roads and the type of vehicles accessing the road from the site is consistent with the intended road use.</i></p>	<p>The proposal would not adversely impact the current traffic volumes, types of vehicles or accessibility of Mogumber-Yarawindah Road.</p> <p>The Traffic volumes are low and would largely consist of private cars of staff and visitors.</p> <p>Noting the above, the minor upgrading of the existing access is considered acceptable due to adequate sightlines, the condition of the existing crossover.</p>

Requirement	Comment
c) <i>Access is to be taken from a local road or from a public right-of-way, private right-of-way, laneway or private road where available.</i>	There is no lower level of road capable of being used for access. Refer to the next provision for further assessment.
d) <i>Where vehicular access is only available from a distributor road, all parking, servicing, circulation within that lot and access to and from the road shall be designed and constructed to allow unhindered movement within the lot to enable vehicles to enter and leave the site in forward gear.</i>	All parking areas are well set back from the crossover with two-way access located at the crossover. The circulation of the site is clearly delineated on the plans to ensure there is no unhindered movement.

Based on the type of use proposed, it is considered that vehicular movements will be less than ten (10) vehicle trips per hour. In accordance with the Transport Impact Assessment Guidelines Volume 4 (**TIA Guidelines**), the proposal is deemed to have a low traffic impact and further reporting in respect to a Transport Impact Assessment/Statement is not required.

4.2 State Planning Policy 3.7 – Bushfire

The subject land is located within a bushfire prone area, as represented in **Figure 2**.



Figure 2: Map of Bushfire Prone Areas (Source: PlanWA, 2026)

In response, a Bushfire Management Plan (**BMP**) and a Bushfire Emergency Plan (**BEP**) have been prepared by a bushfire consultant. These documents are contained within **Attachments 4** and **5**, respectively.

The BMP has identified that the majority of the development is located outside of the Bushfire Attack Level (**BAL**) 40 and FZ areas with the following exceptions:

- Two (2) caravan sites are partially subject to a BAL-40 rating in the southeastern corner of the site.
- The proposed caretaker's dwelling/incidental museum is partially subject to a BAL-40 and BAL-FZ rating.

In respect to the caravan sites, it is noted that the caravans can easily be evacuated or moved, with close proximity to the emergency exit to the main road.

While the museum is located within a BAL-40/FZ area, the museum will be used infrequently due to its incidental nature – minimising any bushfire risk. It is also noted that the caretaker's dwelling component itself is only subject to a BAL-19 rating with the two areas separated by a fire wall.

Subject to compliance with section 7 of the BMP and the BEP, the development is considered to be acceptable in respect to bushfire risk.

4.3 Planning and Development (Local Planning Schemes) Regulations 2015

Clause 67(2) of the Deemed Provisions contained in Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015* sets out the relevant matters for consideration that the local government is to have due regard to in determining an application for development approval.

The following matters are considered relevant to the proposed development and are addressed in the following table.

Clause 67(2) Matter for Consideration	Justification
(a) the aims and provisions of this Scheme and any other local planning scheme operating within the Scheme area;	The proposed land use of 'Tourist Development' is a discretionary land use (subject to advertising) for the 'Rural' zoning that applies to the subject sites and is

Clause 67(2) Matter for Consideration	Justification
	therefore a land use capable of approval. In respect to the 'Caravan Park' use and as demonstrated in this report, the proposal meets the rural zoning objectives of LPS5 and is also therefore capable of approval.
(b) the requirements of orderly and proper planning including any proposed local planning scheme or amendment to this Scheme that has been advertised under the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i> or any other proposed planning instrument that the local government is seriously considering adopting or approving;	As above, the proposal is considered consistent with LPS5. In addition, there are no known draft planning instruments that the Shire are seriously considering adopting or approving that are relevant to this proposal.
(c) any approved State planning policy;	Consideration has been given to SPP3.7. Reference should be made to section 4.2 of this report for the assessment.
(m) the compatibility of the development with its setting, including — (i) the compatibility of the development with the desired future character of its setting; and (ii) the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;	The proposal is for a use that is considered compatible with the surrounding rural setting. In addition, the proposal will be managed in accordance with the Management Plan and aided by the on-site caretaker to ensure there are no adverse impacts to other owners/occupiers and guests. As the proposal largely seeks to use existing buildings, it will have no adverse impact to development on adjoining land or the locality more broadly in terms of built form and appearance. The additional developments will be low in height and well setback from all boundaries to provide low building bulk.
(n) the amenity of the locality including the following – (i) Environmental impacts of the development; (ii) The character of the locality; (iii) Social impacts of the development;	No adverse environmental impacts are expected from the proposal. Furthermore, due to the management regime, including the on-site caretaker, the proposal will not result in any adverse amenity impacts to other owners/occupiers

Clause 67(2) Matter for Consideration	Justification
	and guests within the site, as well as surrounding properties.
(s) the adequacy of – <ul style="list-style-type: none"> (i) the proposed means of access to and egress from the site; and (ii) arrangements for the loading, unloading, manoeuvring and parking of vehicles; 	The proposal seeks to make minor upgrades to the existing vehicular access (widening). Traffic access, parking and manoeuvrability are considered acceptable. Reference should be made to sections 4.1.2 and 4.1.3 of this report for further detail.
(t) the amount of traffic likely to be generated by the development, particularly in relation to the capacity of the road system in the locality and the probable effect on traffic flow and safety;	Traffic volumes are considered to be low. Reference should be made to section 4.1.3 of this report for further detail.
(u) the availability and adequacy for the development of the following – <ul style="list-style-type: none"> (i) public transport services; (ii) public utility services; (iii) storage, management and collection of waste; (iv) access for pedestrians and cyclists (including end of trip storage, toilet and shower facilities); (v) access by older people and people with disability; 	Waste generation will be akin to the existing residential land use and will remain to be managed by the on-site caretaker and the Operational Management Plan (Attachment 3). Access will be limited to private vehicles, both due to the type of use and the regional locality. End of trip facilities will be able to be accessed in conjunction with the facilities provided as part of the accommodation.

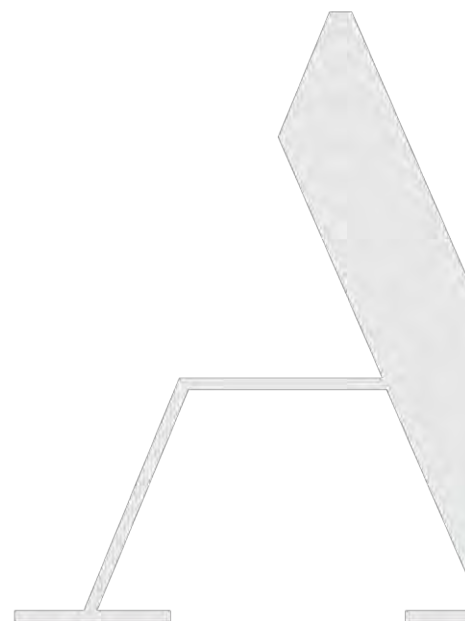
5.0 Conclusion

The Applicant is seeking development approval for a Tourist Development and Caravan Park. For the reasons outlined in this report, our view is that the proposed development is suitable for the site and is consistent with the objectives and requirements of LPS5. Furthermore, the proposal has adequately considered applicable State planning policy requirements.

The proposed development will not result in any adverse amenity impacts on the surrounding owners, occupiers and guests, particularly through adherence to the Management Plan, and aided by the on-site caretaker/manager and the Applicant's general maintenance and operational procedures.

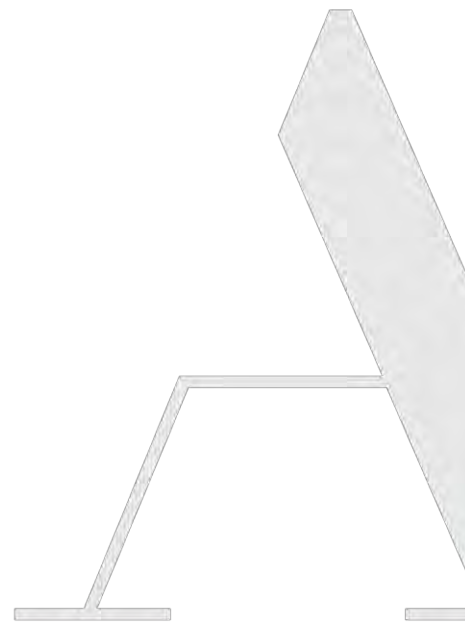
We trust that this information is to your satisfaction and welcome the opportunity to review a draft suite of conditions of approval. We otherwise look forward to your prompt and favourable determination.

Altus Planning



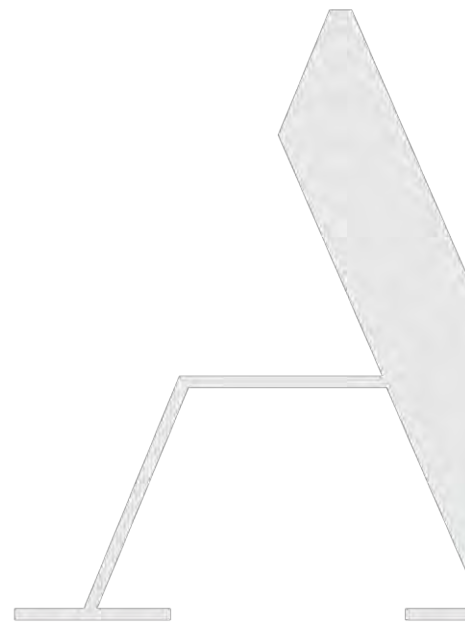
Attachment 1

Certificate of Title



Attachment 2

Development Plans



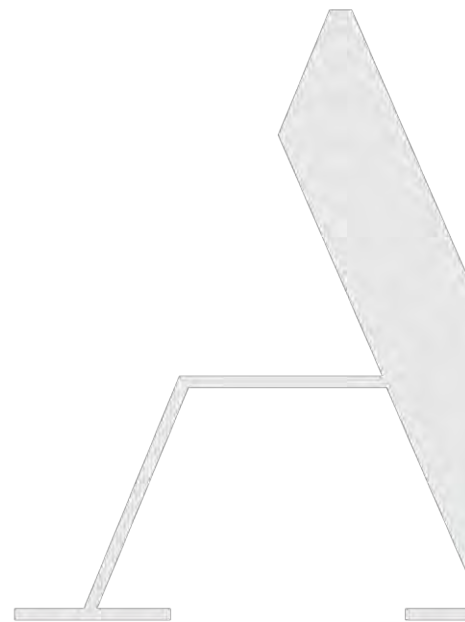
Attachment 3

Operational Management Plan



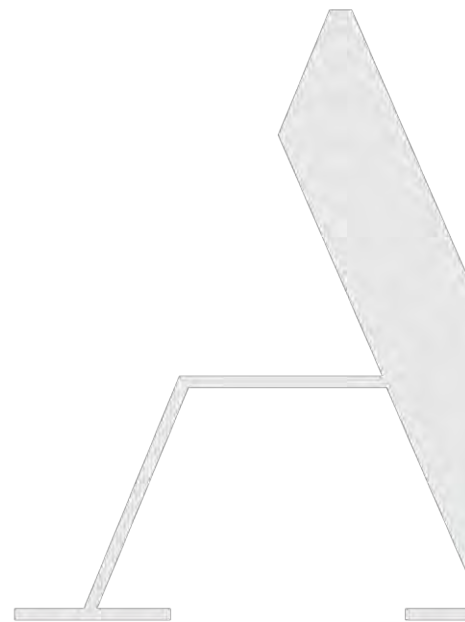
Attachment 4

Bushfire Management Plan



Attachment 5

Bushfire Emergency Plan



WESTERN



AUSTRALIA

TITLE NUMBER

Volume Folio

2723 693

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 2 ON DEPOSITED PLAN 61671

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

PAULINE ANNE BANTOCK
DAVID ANDREW BANTOCK
BOTH OF 285 COCKING ROAD MOGUMBER WA 6506
AS JOINT TENANTS

(T Q271133) REGISTERED 6/1/2025

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

1. Q271134 MORTGAGE TO BENDIGO AND ADELAIDE BANK LTD REGISTERED 6/1/2025.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

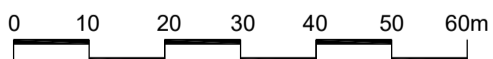
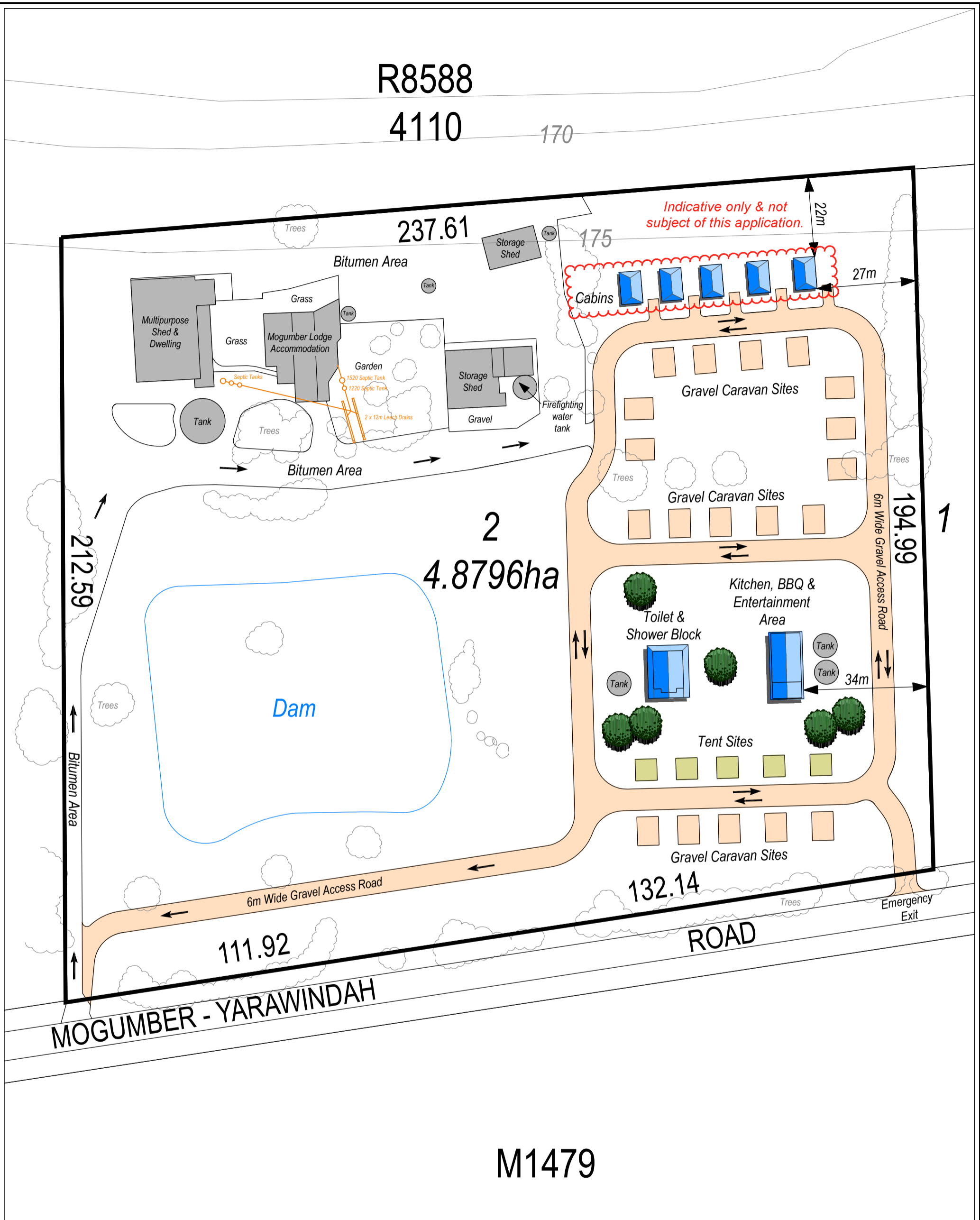
The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: DP61671
PREVIOUS TITLE: 1838-640, 1838-641
PROPERTY STREET ADDRESS: 93 MOGUMBER-YARAWINDAH RD, MOGUMBER.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF VICTORIA PLAINS

R8588

4110

170



SCALE 1:1000
ORIGINAL PLAN SIZE: A3

NOTES:
1. Cabins are indicative only.
2. Areas and dimensions are subject to survey.



NORTH

PREPARED FOR:
DA & PA Bantock
E Pauline.bantock@bigpond.com
M 0416 131 837

DISCLAIMER: This plan has been prepared under instruction of the client, Development Cartographics bears no responsibility for any inaccuracies or errors.

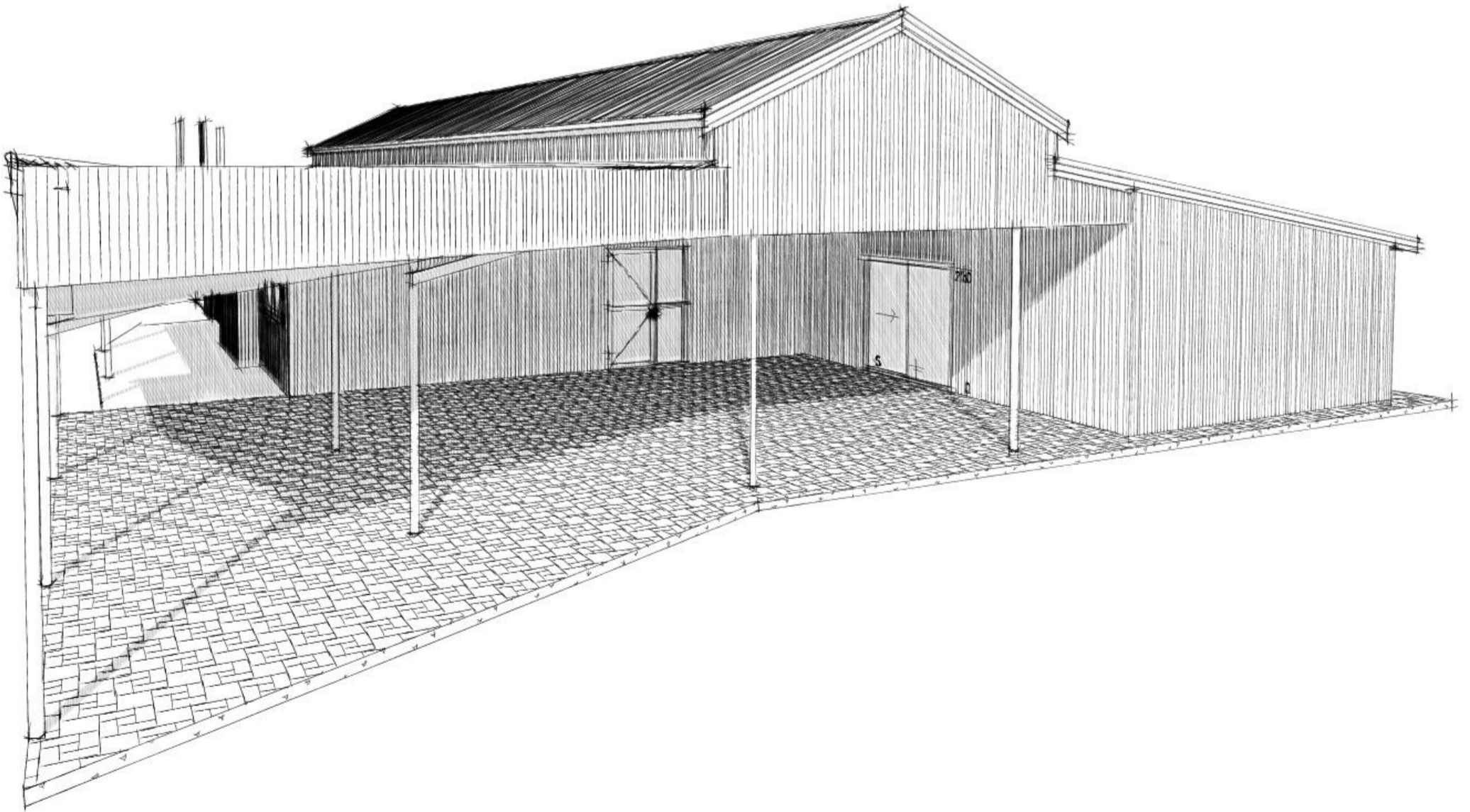
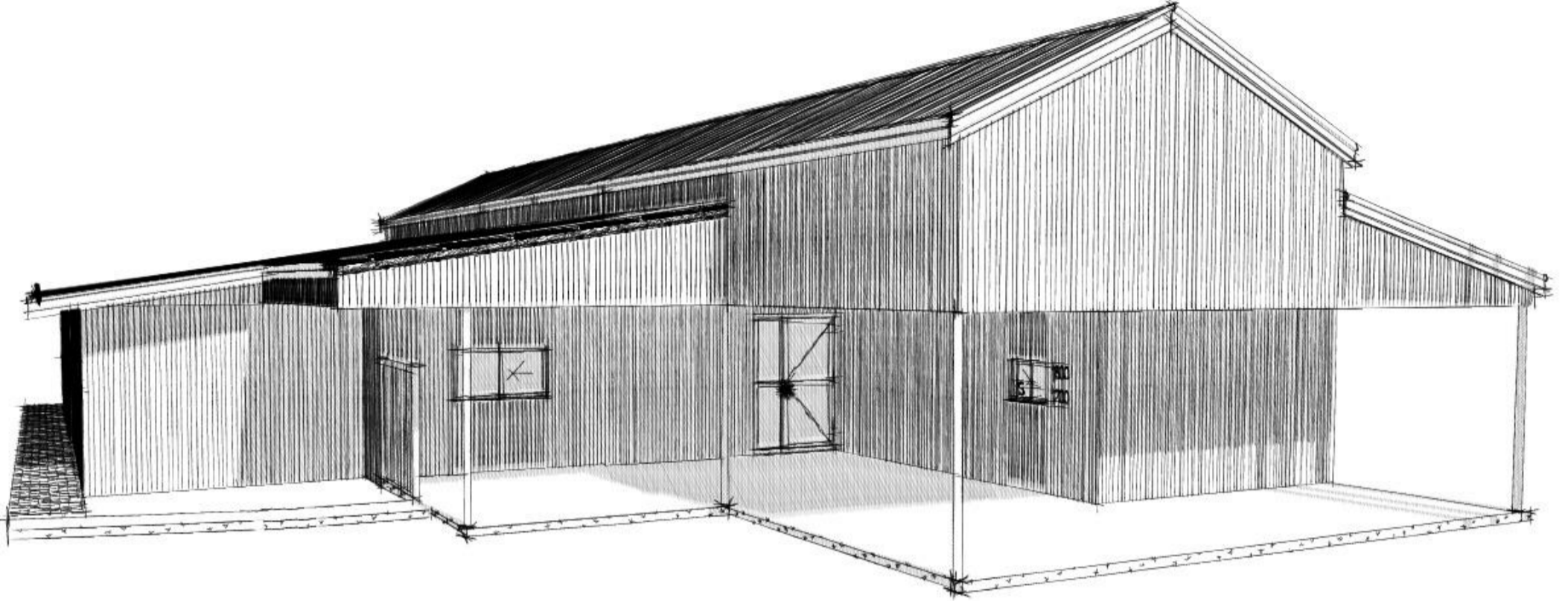
DATE: 25.02.2026

SITE PLAN

TOURIST DEVELOPMENT
AND CARAVAN PARK

LOT 2 (No. 93) MOGUMBER-YARAWINDAH ROAD
MOGUMBER
Shire of Victoria Plains

DRAWING LIST	
DRAWING ID	DRAWING NAME
1	3D ELEVATIONS
2	COMPLIANCE NOTES
3	LOCATION PLAN
4	SITE PLAN
5	GF FLOOR DEMOLITION PLAN
6	GF FLOOR PLAN
7	UF FLOOR PLAN
8	ELEVATIONS 1-2
9	ELEVATIONS 3-4
10	SECTION & DETAIL
11	INTERNAL LAYOUTS
12	INTERNAL LAYOUTS
13	ELECTRICAL PLANS



REV.	ITEMS	DRN	PM	DATE
00	AS CONST. DRAWING	MD	JM	28/03/2025
01	BOX STUDY	MD	JM	07/05/2025
02	SCHEMATIC DESIGN	MD	JM	29/05/2025
03	SCHEMATIC DESIGN - DRR1	MD	NM	24/06/2025
04	SCHEMATIC DESIGN - DRR2	MD	NM	29/07/2025
05	BP SET - ISSUE	PJ	YA	14/08/2025
06	BP SET - ISSUE	LM	LM	30/01/2026
07	BP SET - ISSUE	FR	LM	18/02/2026

BUILDING PERMIT SET

PROJECT	93 MOGUMBER YARAWINDAH ROAD, MOGUMBER (BUILDING 1) SHIRE OF VICTORIA PLAINS
CLIENT NAME	DA & PA BANTOCK

SHEET		3D ELEVATIONS	
INITIAL DESIGNER	JM	DATE PRINTED	18/02/2026
PAPER PRINTED	@A3	DRAWING No.	1 of 13

DESIGN COMPLIANCE SPECIFICATION

THIS SPECIFICATION IS TO BE READ IN CONJUNCTION WITH THE CERTIFICATE OF DESIGN COMPLIANCE, FINAL ARCHITECTURAL DRAWINGS, BUILDER'S SPECIFICATIONS, AND ANY TECHNICAL CERTIFICATES (ENERGY EFFICIENCY DOCUMENTATION, STRUCTURAL ENGINEERS' DRAWINGS).

IT IS THE RESPONSIBILITY OF THE BUILDING PERMIT OWNER (BUILDER) TO ENSURE ALL CONDITIONS OF THIS SPECIFICATION, AS STATED UNDER SECTION 3, ARE STRICTLY ADHERED TO. DEVIATION FROM THE PRESCRIBED CERTIFICATION CONDITIONS WOULD RENDER THE WORKS NON-COMPLIANT, AND FURTHER APPROVALS MAY BE REQUIRED BEFORE WORKS MAY CONTINUE.

1. BUILDING CHARACTERISTICS

- **BUILDING DESCRIPTION: RESIDENTIAL DWELLING**
- **BUILDING CLASSIFICATION: CLASS 1b, 10a, 10b**

2. PRECAUTIONS DURING CONSTRUCTION

ANY WORKS THAT MAY ADVERSELY AFFECT LAND ON ADJOINING PROPERTY, OR THAT ENCROACH BEYOND THE BOUNDARIES OF THE WORKS LAND, MUST NOT BE UNDERTAKEN WITHOUT THE RELEVANT NECESSARY CONSENTS BEING OBTAINED, AS REQUIRED BY PART 6 DIVISION 2 OF THE BUILDING ACT 2011. IN ACCORDANCE WITH PART 6 DIVISION 3 OF THE BUILDING ACT 2011, NOTABLE EVENTS THAT REQUIRE SUCH CONSENTS ARE IDENTIFIED AS -

- A. PART OF A BUILDING OR STRUCTURE IS PLACED INTO, ONTO OR OVER LAND BEYOND THE BOUNDARIES OF THE WORKS LAND;
- B. LAND BEYOND THE BOUNDARIES OF THE WORKS LAND IS ADVERSELY AFFECTED;
- C. A PROTECTION STRUCTURE IS PLACED INTO OR ONTO LAND BEYOND THE BOUNDARIES OF THE WORKS LAND;
- D. THE STRUCTURAL, WATERPROOFING, OR NOISE INSULATION CAPACITY OF A PARTY WALL OR A SUBSTANTIAL DIVIDING FENCE SHARED WITH THE WORKS LAND, OR A BOUNDARY RETAINING WALL THAT PROTECTS LAND BEYOND THE BOUNDARIES OF THE WORKS LAND, IS AFFECTED;
- E. A FENCE, GATE OR OTHER BARRIER TO LAND ON OR BEYOND THE BOUNDARIES OF THE WORKS LAND IS REMOVED;
- F. IN DOING THE WORK A PERSON GOES ONTO OTHER LAND.

AS PER THE TERMS DEFINED IN THE BUILDING ACT 2011, ADVERSELY AFFECT LAND INCLUDES

- A. REDUCE THE STABILITY OR BEARING CAPACITY OF THE LAND OR A BUILDING OR STRUCTURE ON THE LAND; OR
- B. DAMAGE, OR REDUCE THE STRUCTURAL ADEQUACY OF, A BUILDING OR STRUCTURE ON THE LAND; OR
- C. THE CHANGING OF THE NATURAL SITE DRAINAGE IN A WAY THAT REDUCES THE EFFECTIVENESS OF THE DRAINAGE OF THE LAND OR EXISTING OR FUTURE BUILDINGS OR STRUCTURES ON THE LAND.

3. CONDITIONS OF COMPLIANCE

1. A NOTICE AND REQUEST FOR CONSENT TO WORK AFFECTING OTHER LAND (BA20A FORM) IS TO BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION WHERE:

- ∑ THERE IS A NEED TO REMOVE A DIVIDING FENCE (S 80 OF THE BUILDING ACT 2011).
- ∑ ACCESS THE ADJOINING LAND IS REQUIRED (S 81 OF THE BUILDING ACT 2011).
- ∑ WORK AFFECTS A PARTY WALL, SUBSTANTIAL DIVIDING FENCE OR A BOUNDARY RETAINING WALL (S79 OF THE BUILDING ACT 2011).

2. ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS, APPLICABLE CONSTRUCTION MANUALS AND NCC PART.
3. ANY WORKS SHOWN AS "FUTURE" OR "PART OF NEXT STAGE" OR MARKED AS SUCH ON THE APPROVED PLANS ARE NOT INCLUDED IN THIS APPROVAL. THESE WORKS MAY REQUIRE SEPARATE CERTIFICATE OF DESIGN COMPLIANCE APPROVAL.
4. CONCRETE TO COMPLY WITH AS 3600.
5. ALL STORMWATER MUST BE CONTAINED ON-SITE AND BE DESIGNED & INSTALLED IN ACCORDANCE WITH AS 3500.3.
6. TIMBER FRAMING MUST ADHERE TO AS 1684 PART 1 OR PART 2, AS APPLICABLE TO THE WIND REGION (CYCLONIC OR NON-CYCLONIC).
7. METAL SHEET ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH AS 1562.1.
8. ALL GLAZING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH AS 2047 AND AS 1288, AS APPLICABLE.
9. MECHANICAL VENTILATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH AS 1668. EXHAUST SYSTEMS WITHIN ANY KITCHEN, LAUNDRY, BATHROOM OR SANITARY COMPARTMENT MUST BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 10.6.2.
10. HARD-WIRED, INTERCONNECTED SMOKE ALARMS MUST BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISION, PART 9.5 AND AS 3786. SMOKE ALARMS ARE TO BE INSTALLED BETWEEN THE KITCHEN AND SLEEPING AREAS FOR GROUND FLOOR DWELLINGS AND MUST BE INSTALLED BETWEEN THE KITCHEN AND SLEEPING AREAS AND THE TOP & BOTTOM OF ANY INTERNAL CONNECTING STAIRWAYS IN DWELLING MORE THAN SINGLE STOREY.


11. PROTECTIVE COATINGS FOR STEELWORK MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 6.3.9.
12. WATERPROOFING OF WET AREAS MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 10.2.
13. WEATHERPROOFING OF MASONRY MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 5.7.
14. VAPOR BARRIERS AND DAMP-PROOF MEMBRANES MUST COMPLY WITH ABCB HOUSING PROVISIONS, PART 4.2.8.
15. PHYSICAL TERMITE BARRIERS MUST SATISFY THE INSTALLATION REQUIREMENTS OF AS 3660.1 AND BE INSTALLED ALONG THE EXTERNAL BOUNDARY WALLS.

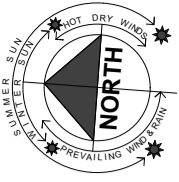
IF SPRAY TERMITE BARRIER IS TO BE USED, REFER TO APPROVED NCC PERFORMANCE SOLUTION.
16. A DURABLE NOTICE, FOR THE REGISTRATION OF PESTICIDES (TERMITE TREATMENT) MUST BE FIXED TO THE BUILDING IN A PROMINENT AND ACCESSIBLE LOCATION - PREFERABLY THE EXTERNAL ELECTRICAL DISTRIBUTION/METER BOX.
17. THE CONCRETE SLAB SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS 2870, WITH TERMITE COLLARS ON ANY PIPE PENETRATIONS THROUGH THE SLAB.
18. UPPER FLOOR BEDROOM WINDOWS, WHERE THE SILL IS LESS THAN 1.7M ABOVE THE FINISHED FLOOR LEVEL (OF THE EXTERNAL SURFACE) MUST BE PROTECTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 11.3.7.
19. THICKNESS AND TYPE OF GLAZING SHALL BE SELECTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 8.
20. DOWNPIPES WILL BE INSTALLED TO THAT THEY DO NOT SERVE MORE THAN 12M OF GUTTER EACH AND LOCATED AS CLOSE AS POSSIBLE TO VALLEYS. THE SIZE OF DOWNPIPES AND GUTTER SHALL ADHERE WITH ABCB HOUSING PROVISIONS, PART 7.4.5.
21. RESIDENTIAL CROSSOVERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AUTHORITY'S GUIDELINES/POLICY.
22. CONSTRUCTION OF STAIRS SHALL ADHERE WITH ABCB HOUSING PROVISIONS, PART 11.2. PARTICULARS INCLUDE -

 - ∑ NOT MORE THAN 18 & NOT LESS THAN 2 RISERS IN EACH FLIGHT.
 - ∑ GOING IN RISER DIMENSIONS IN ACCORDANCE WITH TABLE 11.2.2a.
 - ∑ CONSTANT GOING & RISER DIMENSIONS.
 - ∑ NO OPENINGS GREATER THAN 125MM.
23. CARE IS TO BE TAKEN SO AS NOT TO UNDERMINE ANY EXISTING STRUCTURES ON THE ADJOINING PROPERTIES.
24. THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB ON GROUND MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING. TYPICALLY, THE FINISHED SURFACE MUST BE GRADED 50MM OVER THE FIRST 1M FROM THE BUILDING. ALTERNATIVELY, THE SLAB ON GROUND MUST BE FINISHED AT A HEIGHT OF NO LESS THAN 100MM ABOVE THE FINISHED GROUND LEVEL (INCREASED TO 150MM IN CLAY AREAS).

IF FLUSH THRESHOLD, REFER TO APPROVED NCC PERFORMANCE SOLUTION.
25. DOORS TO ROOMS WITH A TOILET, WHERE THERE IS NOT 1.2M CLEARANCE BETWEEN THE DOOR AND THE TOILET, WILL BE PROVIDED WITH LIFT-OFF HINGES.
26. SELECTED TIMBER & COMPOSITE WALL/FAÇADE CLADDING MUST BE SELECTED AND INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 7.5.
27. OPENINGS IN EXTERNAL WALL CLADDING MUST BE FLASHED WITH MATERIALS COMPLYING WITH ABCB HOUSING PROVISIONS, PART 7.5.6 AND AS/NZS 2904.
28. BUILDING ELEMENTS IN WET AREAS MUST BE WATERPROOF AND WATER RESISTANT IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 10.2.
29. FOR SINGLE SKIN FRAMED EXTERNAL WALLS, A PLIABLE BUILDING MEMBRANE MUST BE INSTALLED. THIS MEMBRANE MUST COMPLY WITH AS/NZS 4200.1, BE INSTALLED IN ACCORDANCE WITH AS 4200.2, AND BE LOCATED ON THE EXTERIOR SIDE OF THE INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL BUILDING ENVELOPE.
30. WALL CLADDING SYSTEMS SHALL CONFORM WITH THE SELECTED MANUFACTURERS INSTALLATION GUIDE.

UPDATED: 01/05/2025

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LOCATION PLAN
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REV.	ITEMS	DRN	PM	DATE
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BUILDING PERMIT SET

PROJECT	93 MOGUMBER YARAWINDAH ROAD, MOGUMBER (BUILDING 1) SHIRE OF VICTORIA PLAINS
CLIENT NAME	DA & PA BANTOCK

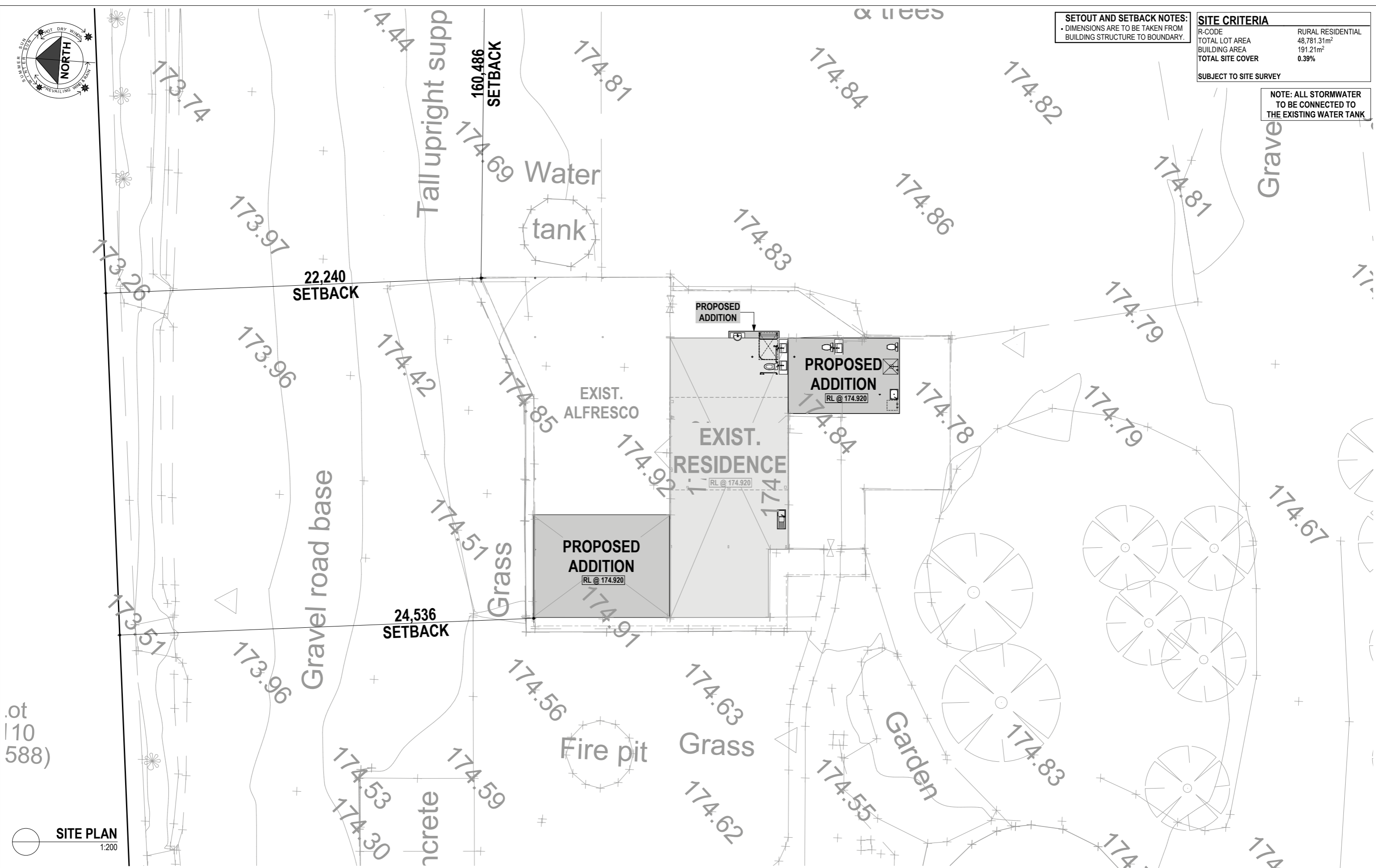
SHEET		LOCATION PLAN	
INITIAL DESIGNER	JM	DATE PRINTED	18/02/2026
PAPER PRINTED	@A3	DRAWING No.	3 of 13



SETOUT AND SETBACK NOTES:
 • DIMENSIONS ARE TO BE TAKEN FROM BUILDING STRUCTURE TO BOUNDARY.

SITE CRITERIA	
R-CODE	RURAL RESIDENTIAL
TOTAL LOT AREA	48,781.31m ²
BUILDING AREA	191.21m ²
TOTAL SITE COVER	0.39%
SUBJECT TO SITE SURVEY	

NOTE: ALL STORMWATER TO BE CONNECTED TO THE EXISTING WATER TANK



Lot 10 (588)

SITE PLAN
1:200

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BUILDING PERMIT SET

PROJECT
**93 MOGUMBER YARAWINDAH ROAD,
 MOGUMBER (BUILDING 1)
 SHIRE OF VICTORIA PLAINS**

CLIENT NAME
DA & PA BANTOCK

SHEET	
SITE PLAN	
INITIAL DESIGNER JM	DATE PRINTED 18/02/2026
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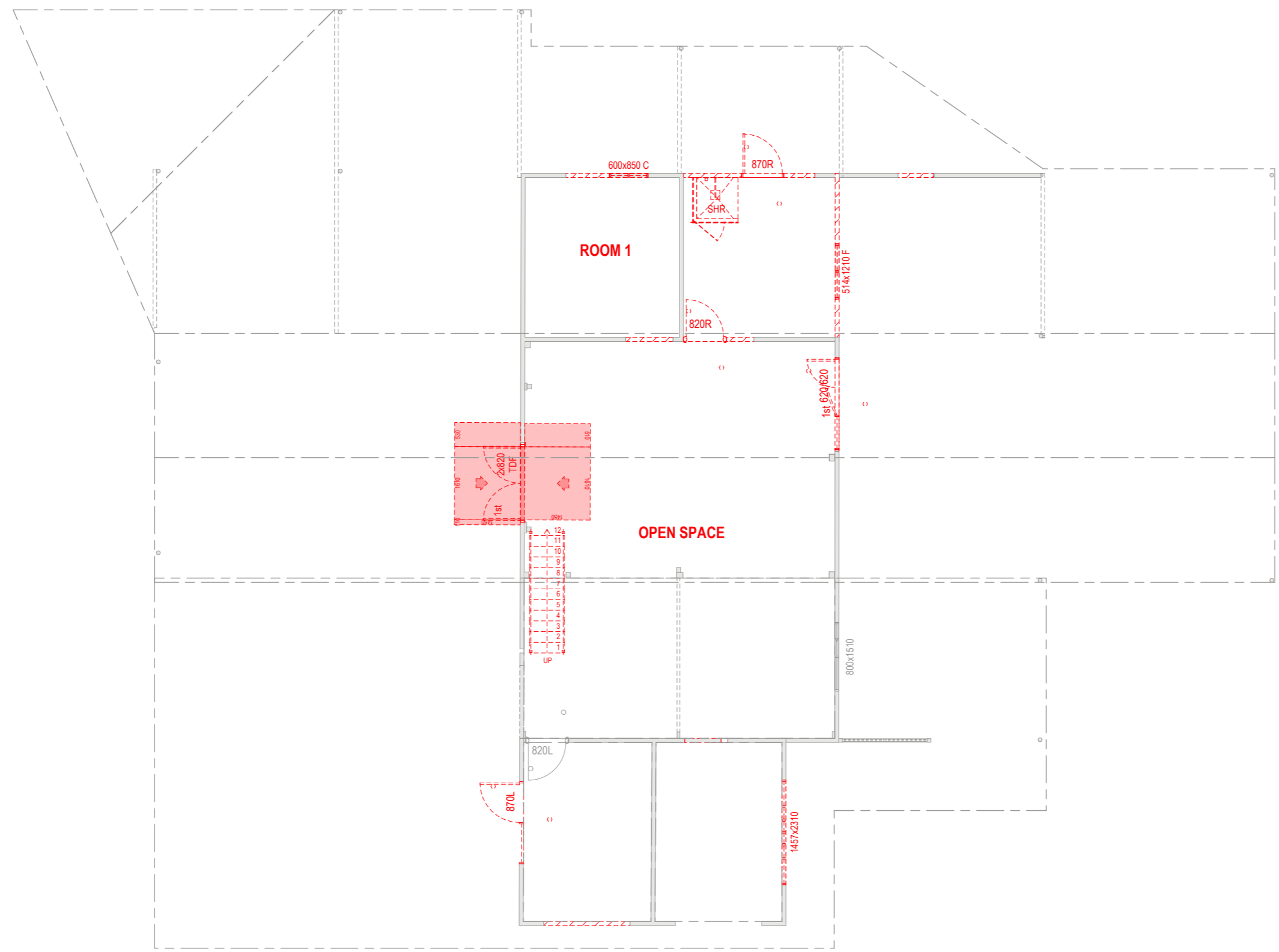
Water tank



DEMOLITION NOTES:

- ALL DEMOLITION WORK TO BE CONDUCTED AS PER CODE OF PRACTICE. ANY DEMOLITION WORK FOR STRUCTURAL MEMBERS INCLUDING, BUT NOT LIMITED TO ROOF BEAMS AND LOAD BEARING WALLS TO FOLLOW STRUCTURAL ENGINEERS NOTE.
- ANY DAMAGE MADE DURING THE DEMOLITION TO BE MADE GOOD UNLESS CONTRACT OVERWRITES.

TO BE DEMOLISHED



DEMO GROUND FLOOR
1:100

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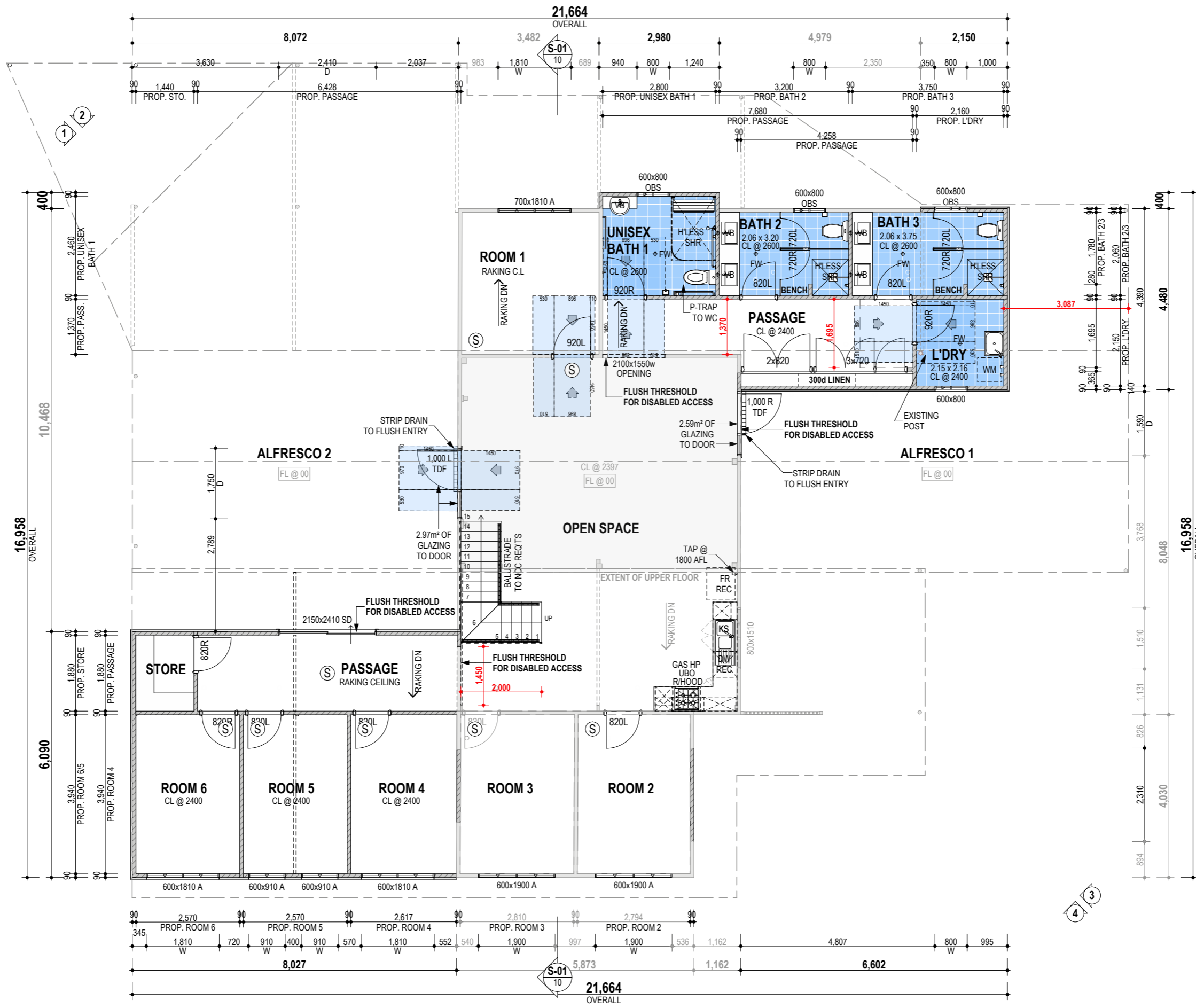
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BUILDING PERMIT SET

PROJECT
**93 MOGUMBER YARAWINDAH ROAD,
MOGUMBER (BUILDING 1)
SHIRE OF VICTORIA PLAINS**

CLIENT NAME
DA & PA BANTOCK

SHEET	
GF FLOOR DEMOLITION PLAN	
INITIAL DESIGNER JM	DATE PRINTED 18/02/2026
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CONSTRUCTION METHOD:

GROUND FLOOR	- CONCRETE SLAB ON GROUND
EXTERNAL WALL	- 90mm METAL STUD WALL + 35mm BATTENS + SELECTED CLADDING
INTERNAL WALL	- 90mm METAL STUD WALL
ROOF FRAME	- TIMBER
ROOF COVER	- TILED & COLORBOND
DOORS & WINDOWS	- SINGLE GLAZED ALUM.

WALL LEGEND:

	PROP. EXT. 90mm METAL STUD WALL + 35mm BATTENS + SELECTED CLADDING
	EXIST. EXT. / INT. 90mm STUD WALL
	PROP. INT. METAL STUD WALL

AREAS:

EXIST. ALFRESCO	254.29
EXIST. UPPER FLOOR	38.50
EXISTING RESIDENCE	111.50
PROPOSED ADDITION	79.71
TOTAL	484.00 m²

ROOF AREAS:

ROOF AREA	433.64
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ADDITIONS NOTE:

- CURRENT ADDITIONS WILL NOT IMPEDE THE SUB-FLOOR VENTILATION OF EXISTING BUILDINGS

TERMITE MANAGEMENT NOTE:

- TERMITE TREATMENT TO COMPLY WITH BCA 3.1.4 AND AS3660.1 INCLUDING BOUNDARY TREATMENT

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH SOIL REPORT, STRUCTURAL DRAWING, ENERGY REPORT, BAL REPORT, AND ACOUSTIC REPORT.

GENERAL TIMBER FRAMING NOTES:

- DOUBLE VERTICAL STUD FOR BALUSTRADE ENDS.
- METAL FRAME OPENING SIZE TO BE 35mm GREATER THAN DOOR SIZE.
- 90 x 45 VERTICAL STUD EITHER SIDE OF DOORS.
- CONFIRM ENGINEER'S WALL BRACING PROVISIONS PRIOR TO ANY WALL CONSTRUCTION.

GENERAL NOTES:

- EXISTING BUILDING DRAWN IN THIS SET MAY NOT BE ACCURATE. ALL RELEVANT DIMENSIONS TO BE CHECKED PRIOR TO CONSTRUCTION.
- NEW MATERIALS, DIMENSIONS, DOORS, WINDOWS & DOWNPIPES TO MATCH EXISTING WHERE POSSIBLE.
- EXTERNAL BRICKWORK CAVITIES TO BE MAINTAINED THROUGHOUT.
- MAKE GOOD TO DEMOLISHED / REMOVED CONSTRUCTION.

GENERAL NOTES:

- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK.
- ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING.
- ANY DISCREPANCIES WHICH MAY ARISE ARE TO BE QUERIED WITH THE BUILDER BEFORE CONTINUING.
- ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDER OR THE SUBCONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR WORKS.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS AND OTHER CONSULTANTS DETAILS.
- REFER TO ENGINEER'S DETAILS FOR CONCRETE SLAB & FOOTING SPECIFICATIONS.
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GROUND FLOOR
1:100

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PROJECT
**93 MOGUMBER YARAWINDAH ROAD,
MOGUMBER (BUILDING 1)
SHIRE OF VICTORIA PLAINS**

CLIENT NAME
DA & PA BANTOCK

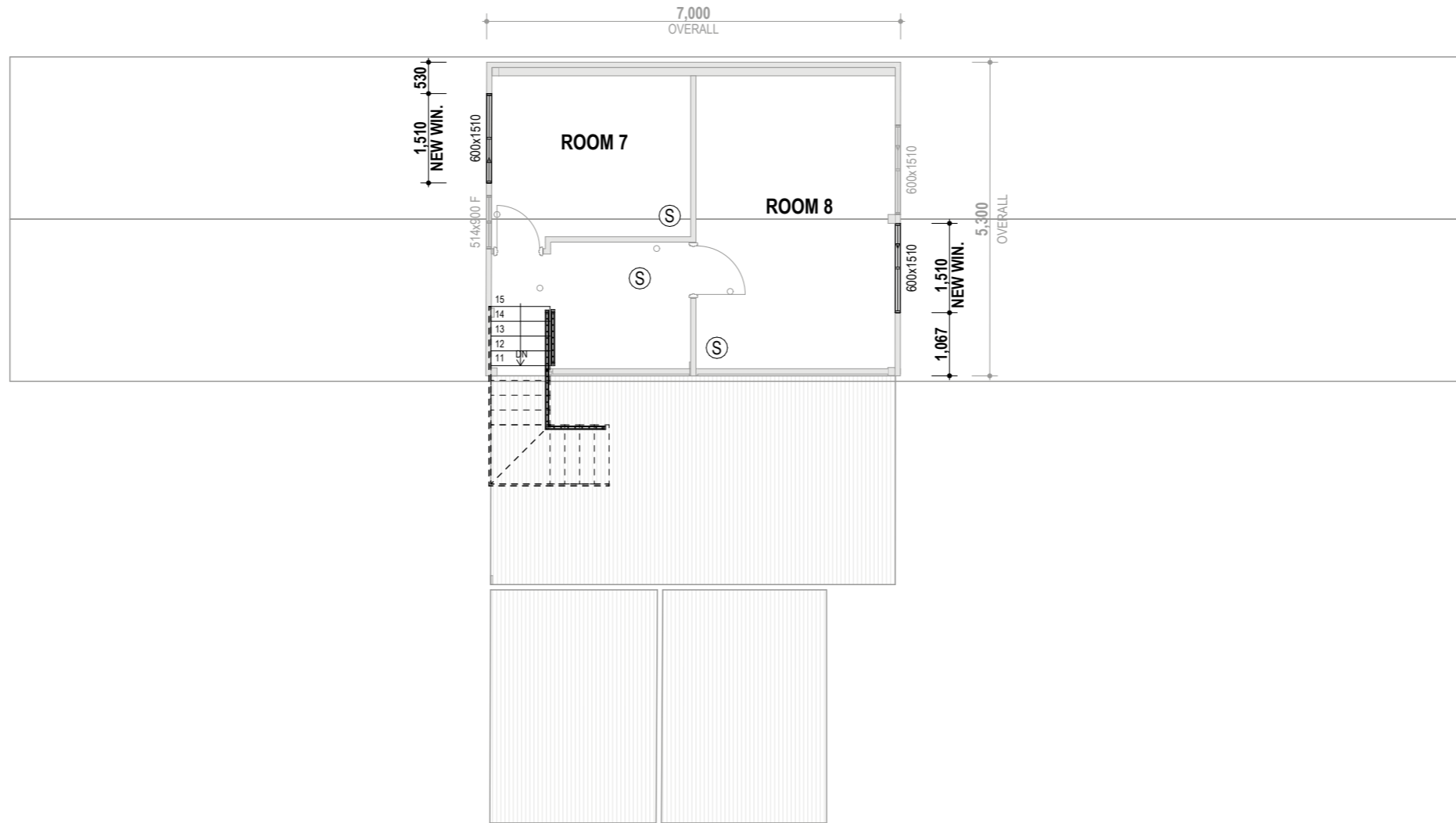
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BUILDING PERMIT SET



1 2

S-01
10



CONSTRUCTION METHOD:

GROUND FLOOR	-	CONCRETE SLAB ON GROUND
EXTERNAL WALL	-	90mm METAL STUD WALL + 35mm BATTENS + SELECTED CLADDING
INTERNAL WALL	-	90mm METAL STUD WALL
ROOF FRAME	-	TIMBER
ROOF COVER	-	TILED & COLORBOND
DOORS & WINDOWS	-	SINGLE GLAZED ALUM.

WALL LEGEND:

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	EXIST. EXT. / INT. 90mm STUD WALL
	PROP. INT. METAL STUD WALL

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EXIST. UPPER FLOOR	38.50
EXISTING RESIDENCE	111.50
PROPOSED ADDITION	79.71
TOTAL	484.00 m²

ROOF AREAS:

ROOF AREA	433.64
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ADDITIONS NOTE:

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TERMITE MANAGEMENT NOTE:

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UPPER FLOOR
1:100

S-01
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3
4

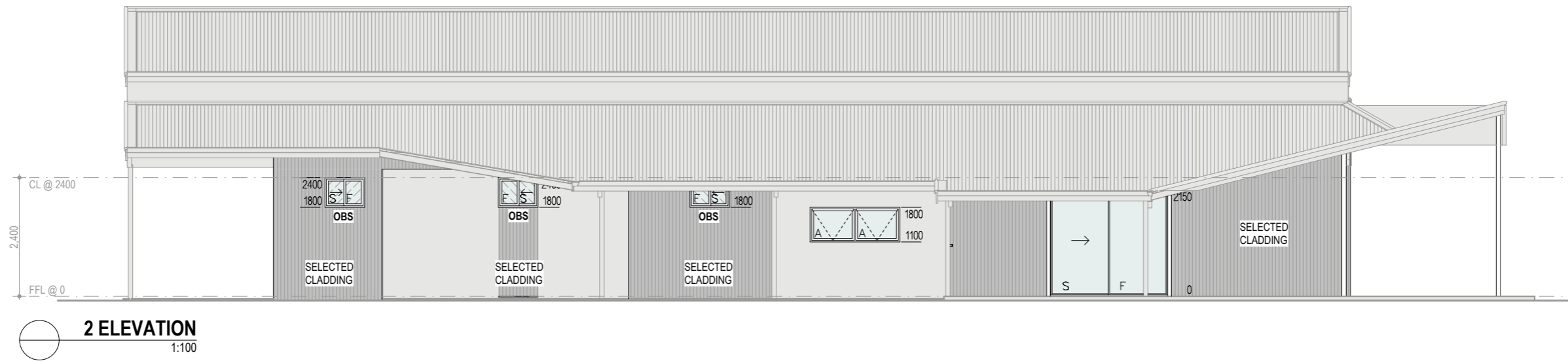
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PROJECT
**93 MOGUMBER YARAWINDAH ROAD,
MOGUMBER (BUILDING 1)
SHIRE OF VICTORIA PLAINS**

CLIENT NAME
DA & PA BANTOCK

SHEET UF FLOOR PLAN	
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BUILDING PERMIT SET



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BUILDING PERMIT SET

PROJECT	93 MOGUMBER YARAWINDAH ROAD, MOGUMBER (BUILDING 1) SHIRE OF VICTORIA PLAINS
CLIENT NAME	DA & PA BANTOCK

SHEET		ELEVATIONS 1-2	
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3 ELEVATION
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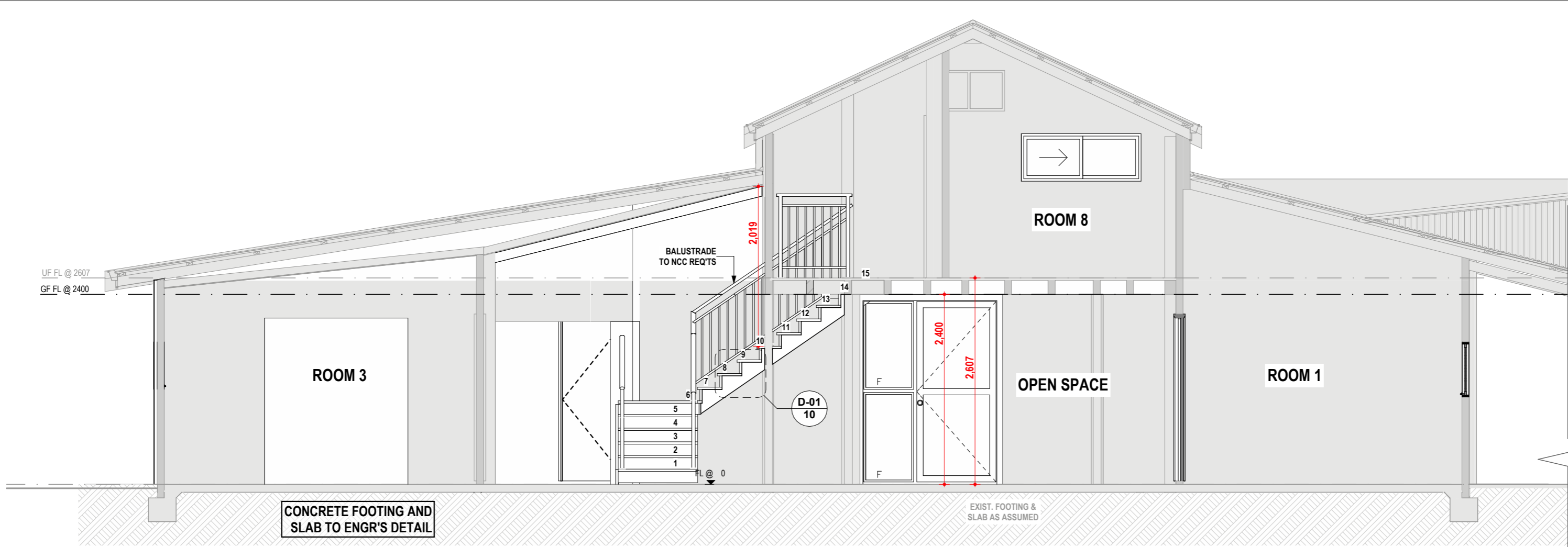
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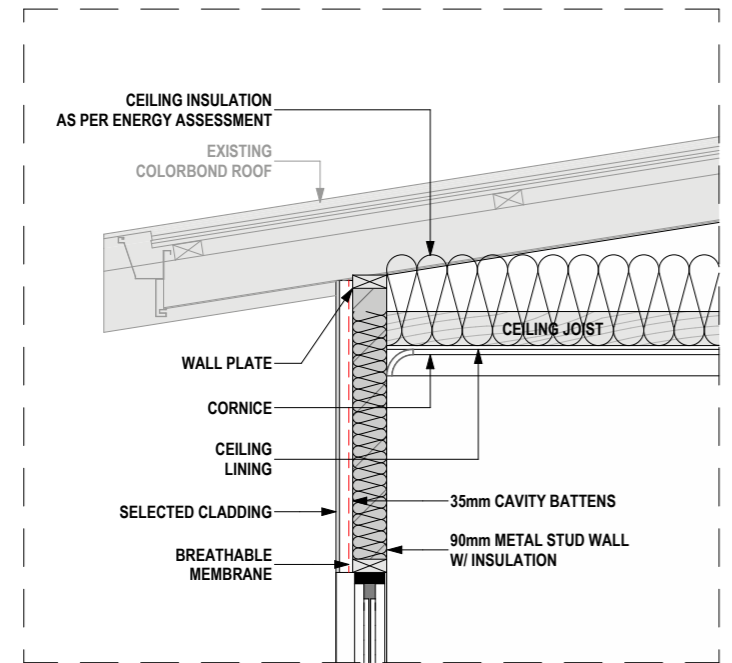
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PROJECT	93 MOGUMBER YARAWINDAH ROAD, MOGUMBER (BUILDING 1) SHIRE OF VICTORIA PLAINS
CLIENT NAME	DA & PA BANTOCK

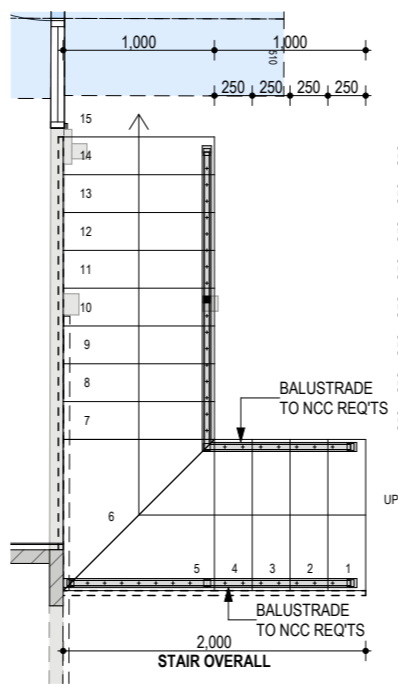
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INITIAL DESIGNER	JM	DATE PRINTED 18/02/2026
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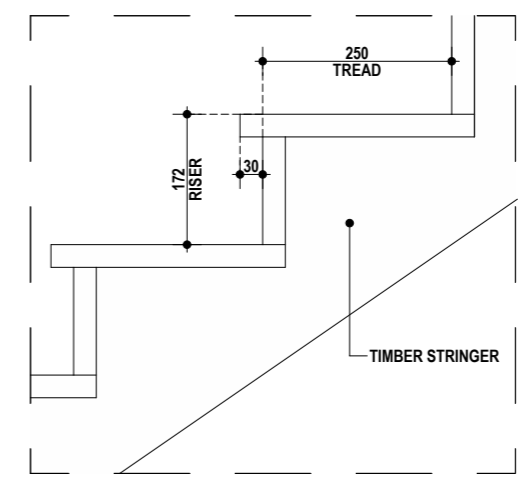
S-01 SECTION
1:50



D-02 Detail
1:20



STAIR DETAIL PLAN
1:50



D-01 Detail
1:10

STAIRS NOTE:
CONSTRUCTION OF BALUSTRADES SHALL ADHERE WITH PART 3.9 OF THE NCC VOLUME TWO.
- NO OPENINGS GREATER THAN 125mm
SLOPE RELATIONSHIP [2(R) + G] = 2(172) + 250 = 594

15 RISERS @ 172/RISER
14 TREADS @ 250/TREAD

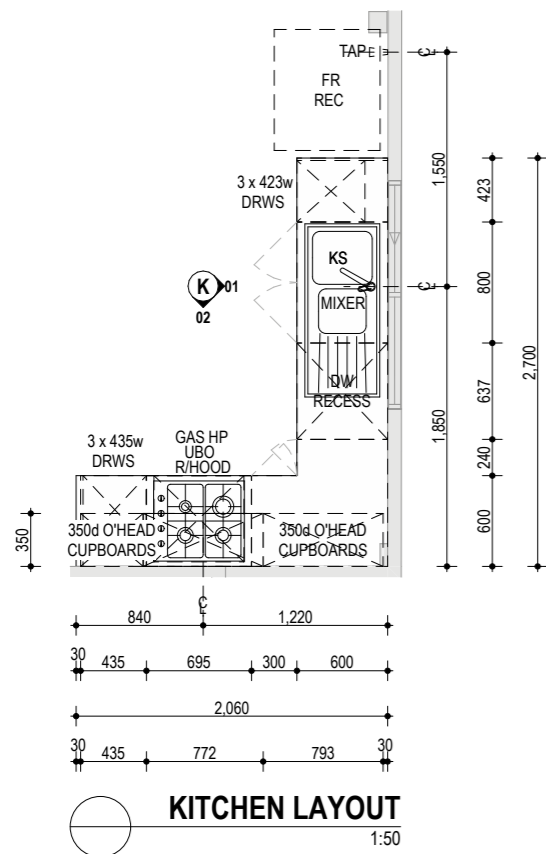
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BUILDING PERMIT SET

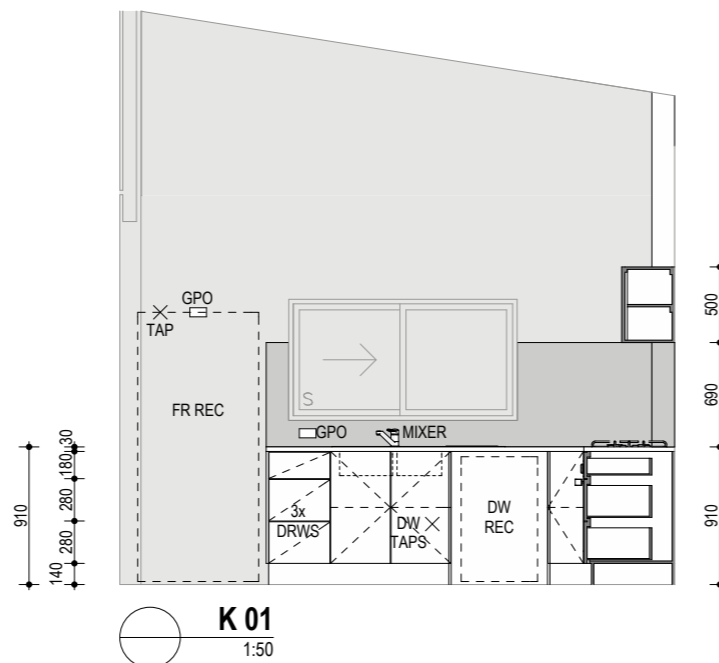
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MOGUMBER (BUILDING 1)
SHIRE OF VICTORIA PLAINS**

CLIENT NAME
DA & PA BANTOCK

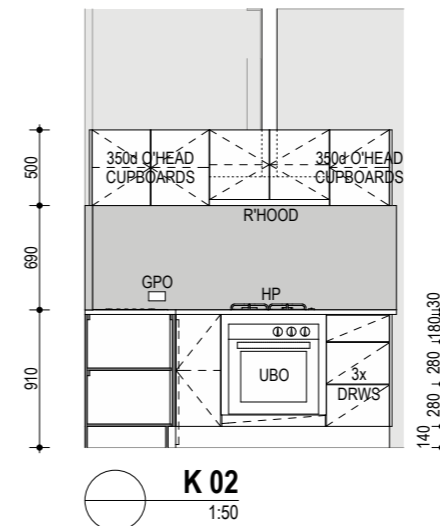
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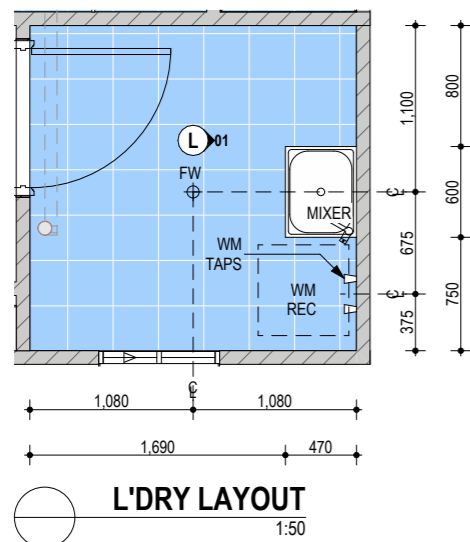
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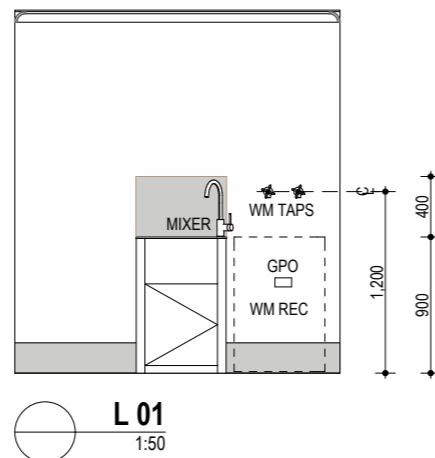
K 01
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K 02
1:50



L'DRY LAYOUT
1:50



L 01
1:50

CLIENT NOTE:

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- LOCATION OF JOINTS IN THE BENCHTOPS ARE AT THE DISCRETION OF THE CABINETMAKER.
- DIMENSIONS SHOWN ON PLAN ARE STRUCTURAL SIZES. PLEASE ALLOW AN EXTRA 13mm TO EACH WALL FOR PLASTER AND SET.
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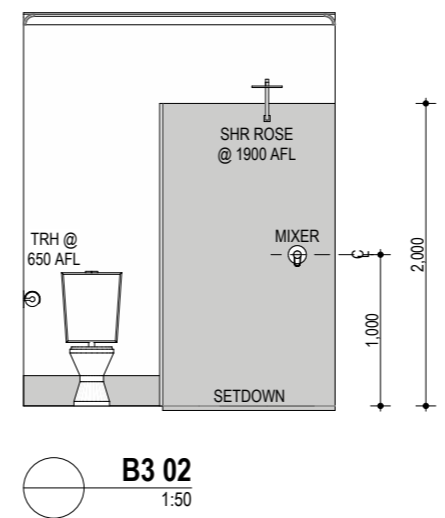
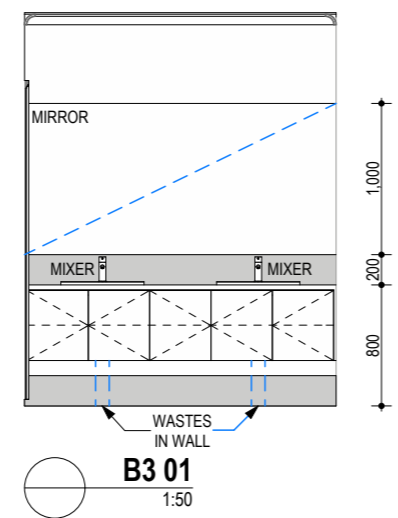
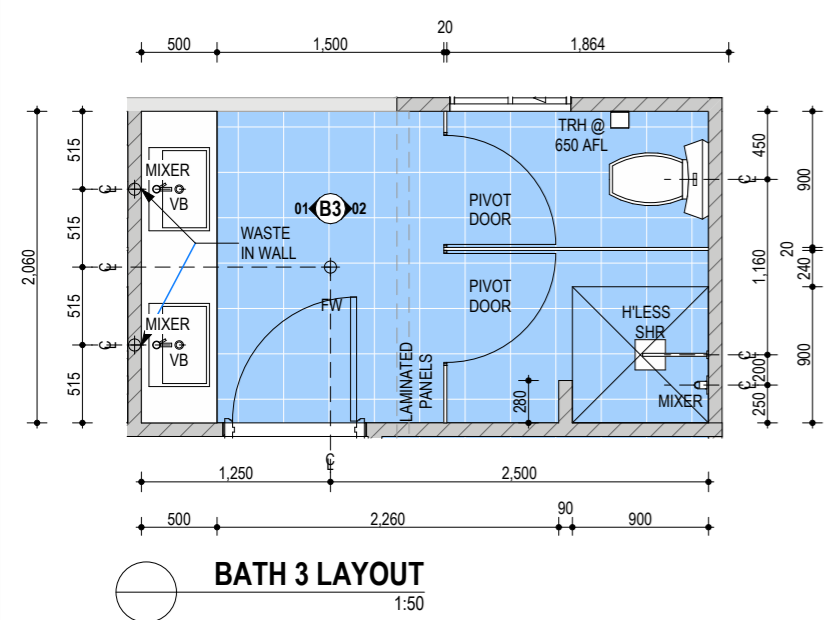
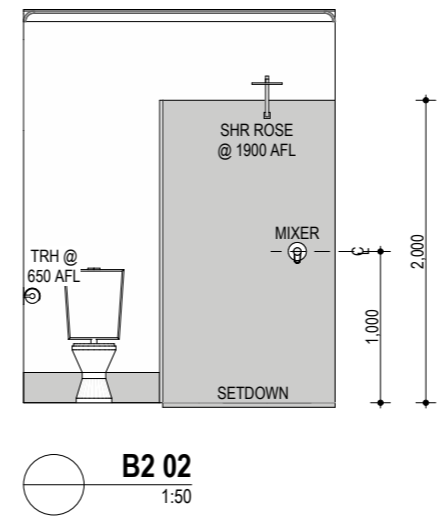
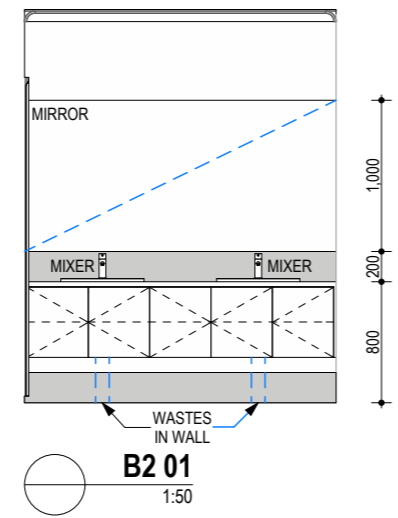
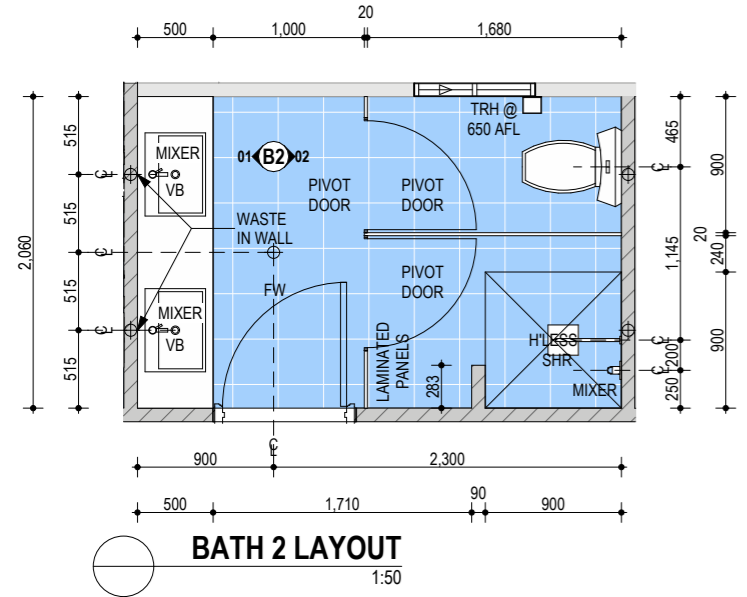
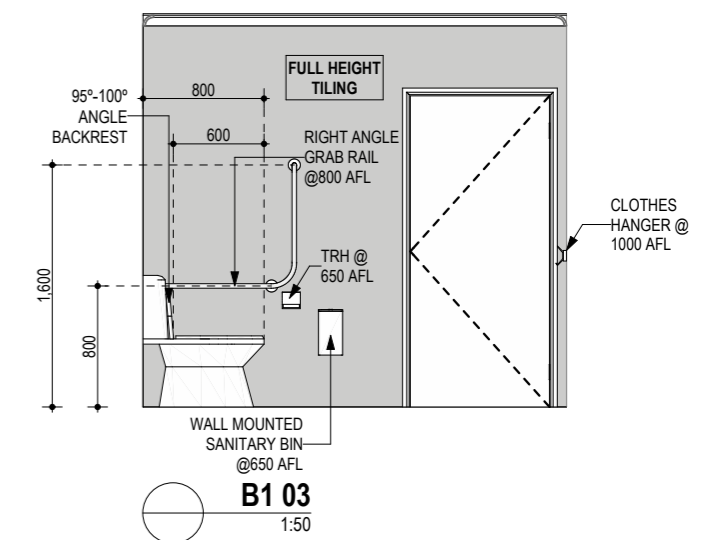
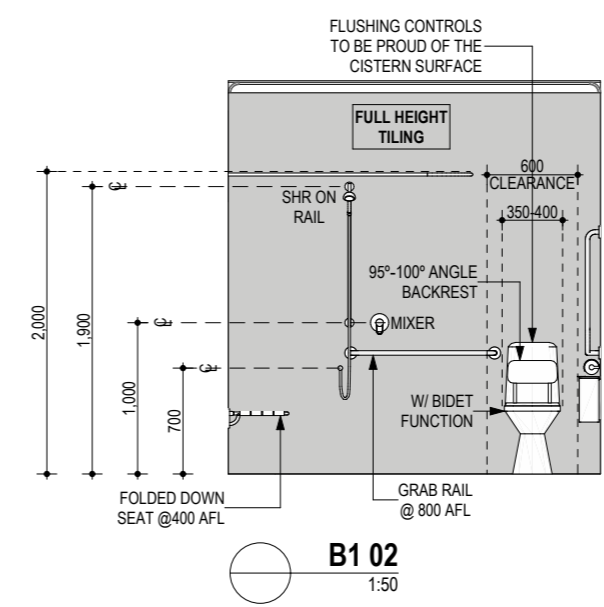
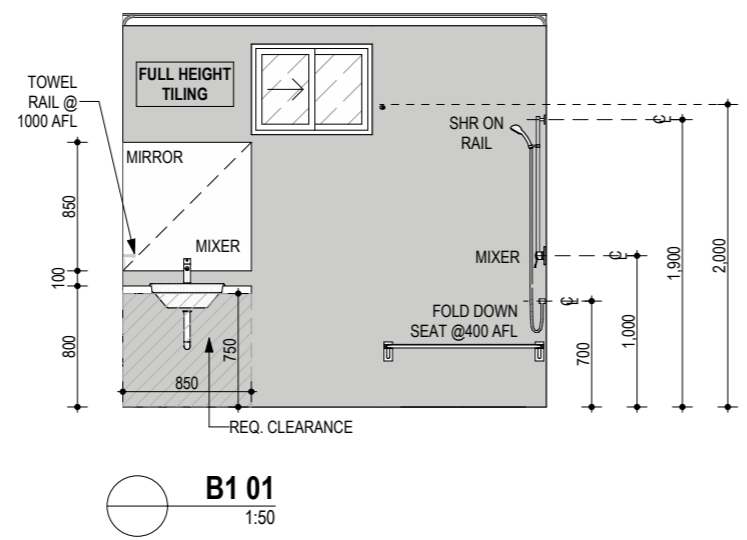
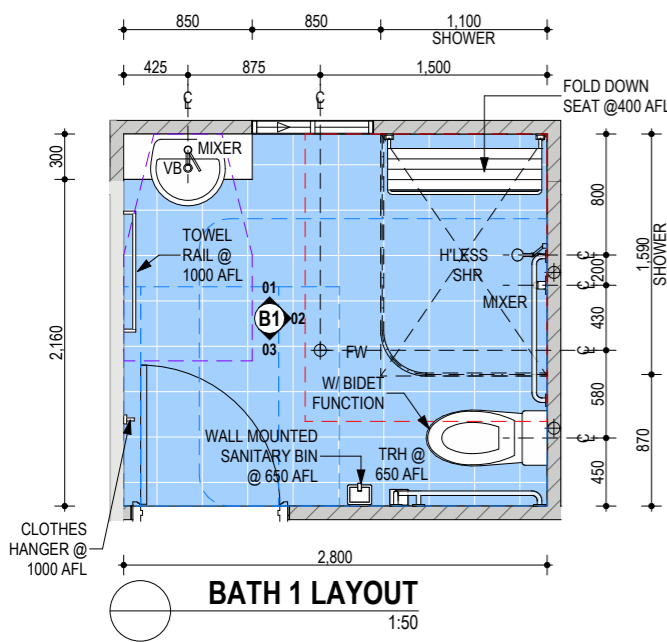
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06	BP SET - ISSUE	LM	LM	30/01/2026
07	BP SET - ISSUE	FR	LM	18/02/2026

PROJECT	93 MOGUMBER YARAWINDAH ROAD, MOGUMBER (BUILDING 1) SHIRE OF VICTORIA PLAINS
CLIENT NAME	DA & PA BANTOCK

SHEET	INTERNAL LAYOUTS	
INITIAL DESIGNER	JM	DATE PRINTED 18/02/2026
PAPER PRINTED	@A3	DRAWING No. 11 of 13



CLIENT NOTE:

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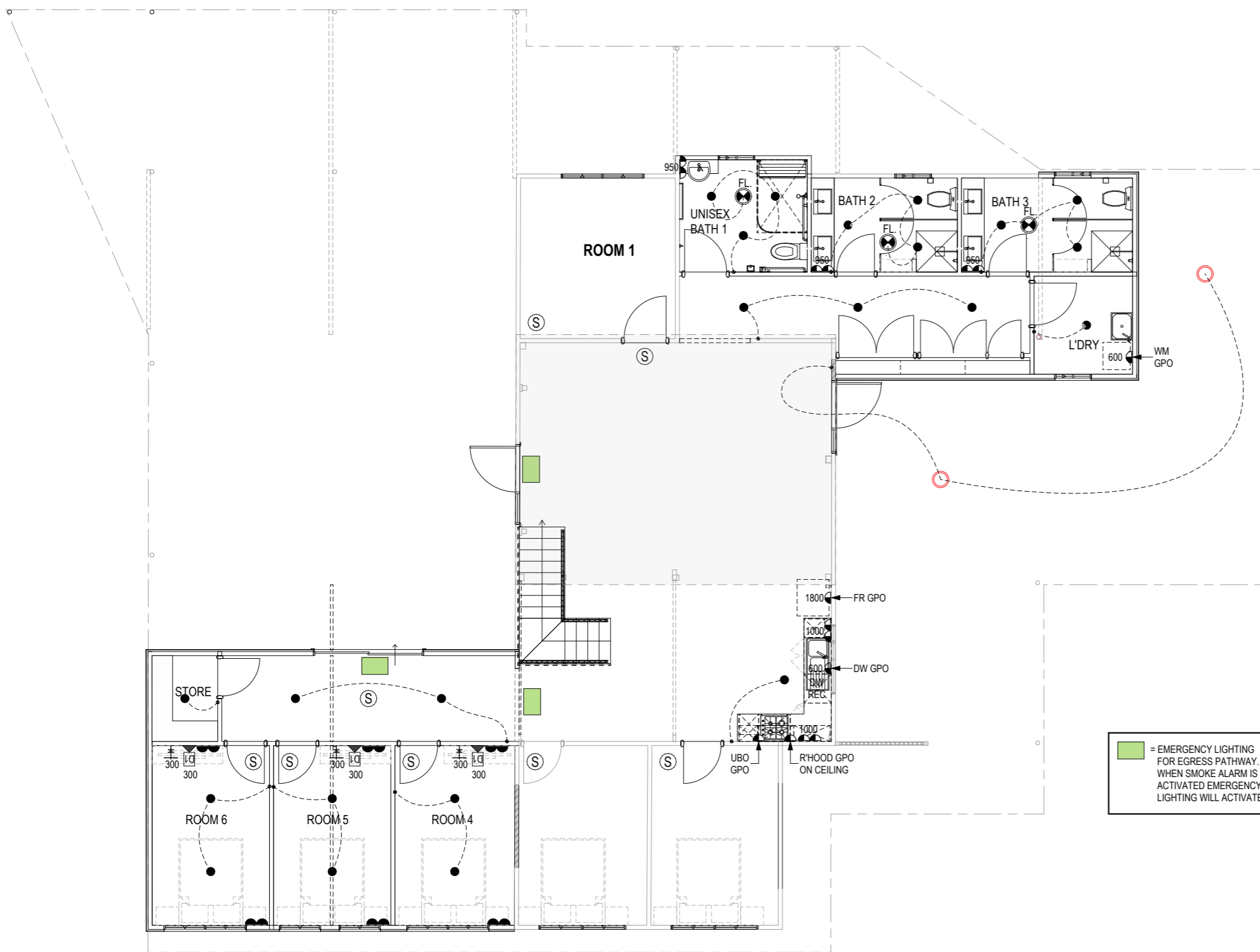
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PROJECT
**93 MOGUMBER YARAWINDAH ROAD,
MOGUMBER (BUILDING 1)
SHIRE OF VICTORIA PLAINS**

CLIENT NAME
DA & PA BANTOCK

SHEET	
INTERNAL LAYOUTS	
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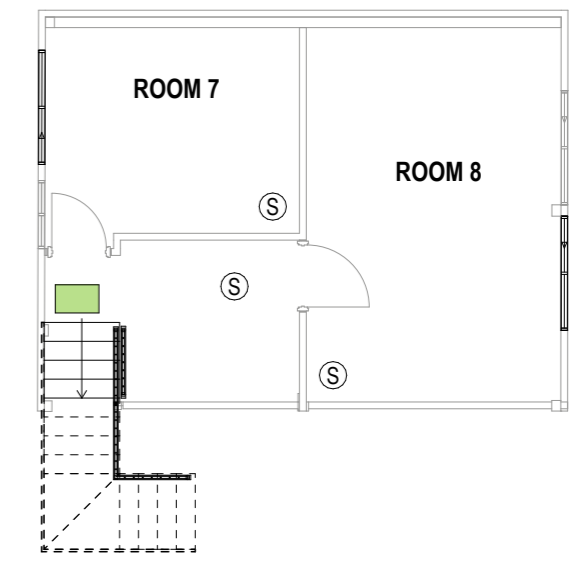


ELECTRICAL LEGEND - GROUND FLOOR		
No.	SYMBOL	TYPE
3		DATA POINT
6		DOUBLE GPO @ 300 AFL
5		DOUBLE GPO @ NOTED HT
3		EXHAUST FAN FLUMED
2		EXTERNAL LIGHT
8		H.WIRED SMOKE DETECTOR
23		RECESSED LED DOWN-LIGHT
5		SINGLE GPO @ NOTED HT
3		TV POINT

- ELECTRICAL NOTES:**
- ALL LIGHT SWITCHES TO BE POSITIONED AT 1350 AFL
 - ALL NOMINATED DOWNLIGHTS ARE UNVENTED
 - ALL RANGEHOOD AND EXHAUST FANS TO BE SEALED WITH SELF-CLOSING DAMPER
 - ALL SMOKE DETECTOR TO BE HARD WIRED AND TO COMPLY WITH AS 3786
 - ALL EXTERNAL WALL LIGHTS AND MOTION SENSORS AT 2000 AFL
 - ALL INTERNAL WALL LIGHTS AT 1800 AFL
 - ALL UNLESS NOTED OTHERWISE

- ADDITIONS NOTE:**
- EXISTING LIGHTS AND POWER POINTS TO BE RETAINED

= EMERGENCY LIGHTING FOR EGRESS PATHWAY. WHEN SMOKE ALARM IS ACTIVATED EMERGENCY LIGHTING WILL ACTIVATE



GF ELECTRICAL
1:100

UF ELECTRICAL
1:100

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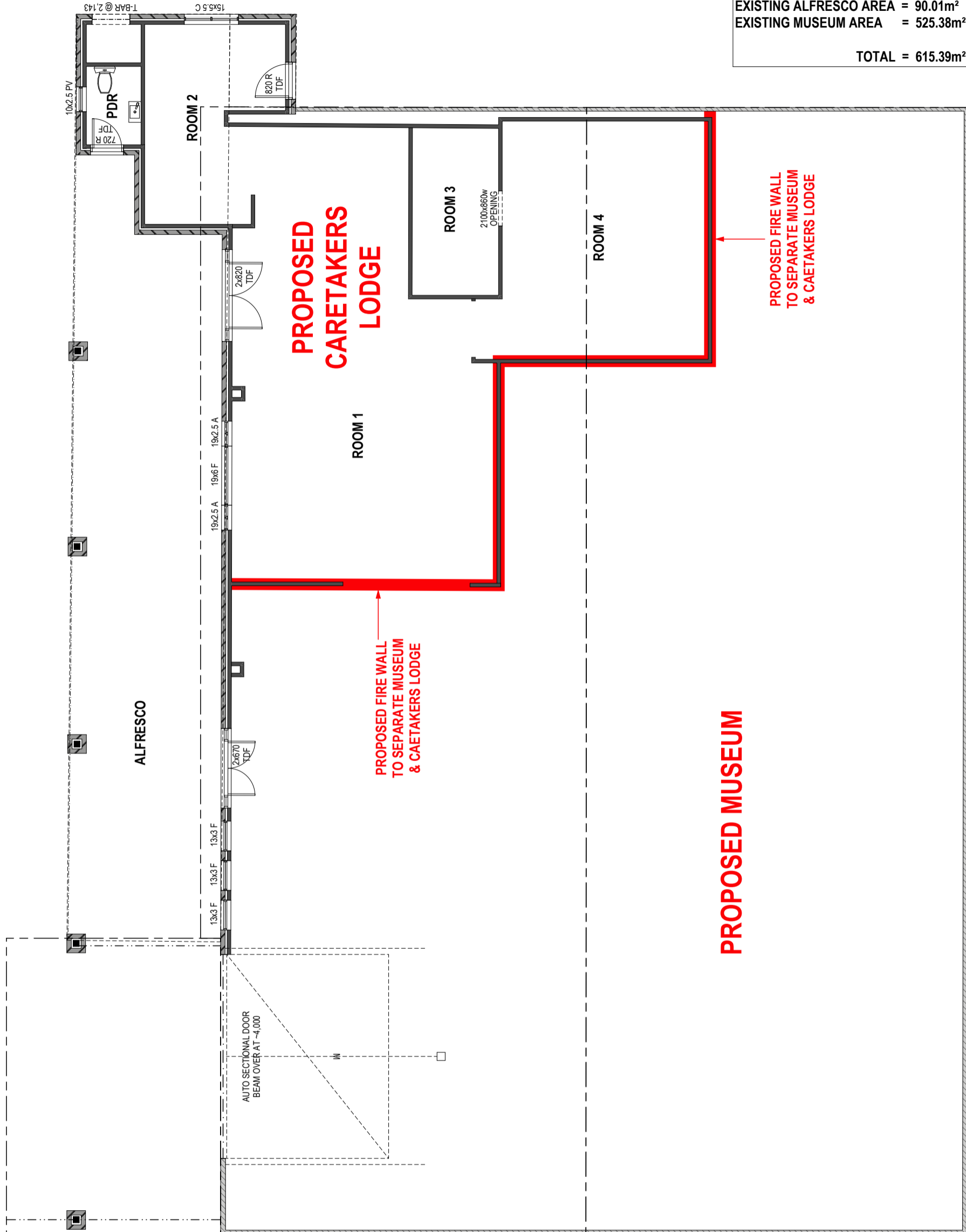
PROJECT
**93 MOGUMBER YARAWINDAH ROAD,
MOGUMBER (BUILDING 1)
SHIRE OF VICTORIA PLAINS**

CLIENT NAME
DA & PA BANTOCK

SHEET	
ELECTRICAL PLANS	
INITIAL DESIGNER JM	DATE PRINTED 18/02/2026
PAPER PRINTED @A3	DRAWING No. 13 of 13

EXISTING BUILDING

EXISTING ALFRESCO AREA = 90.01m²
 EXISTING MUSEUM AREA = 525.38m²
 TOTAL = 615.39m²



MUSEUM BUILDING & CARETAKERS LODGE

SCALE 1:100

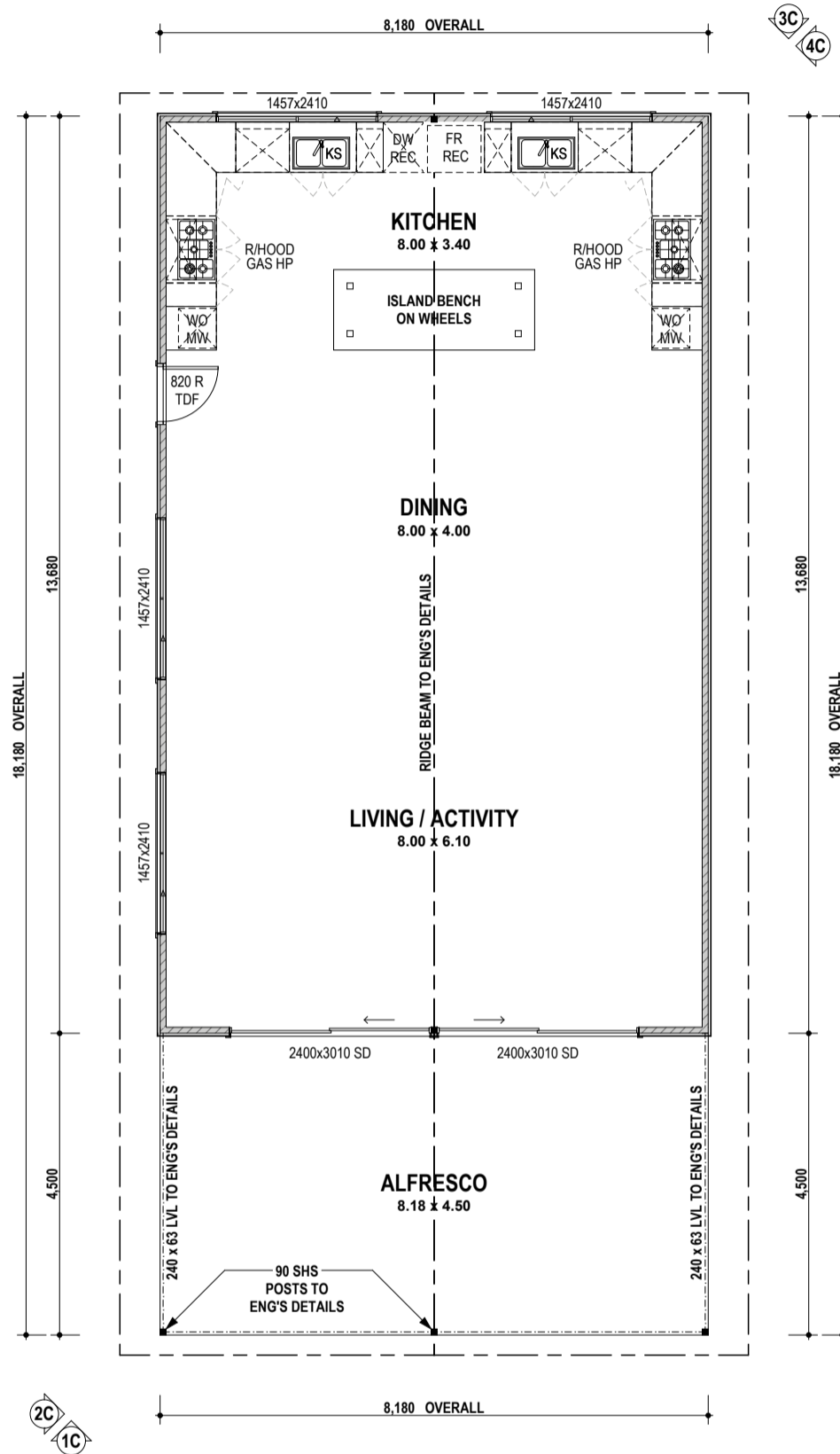
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02	SCHEMATIC	LM	LM	11/02/2026
03	D/A SET	LM	LM	19/02/2026

D/A SET

PROJECT	93 MOGUMBER YARAWINDAH ROAD, MOGUMBER SHIRE OF VICTORIA PLAINS
CLIENT NAME	da

SHEET		MUSEUM PLAN	
INITIAL DESIGNER	LM	DATE PRINTED	19/02/2026
PAPER PRINTED	@A3	DRAWING No.	5 of 5

PROPOSED BUILDING



CAMPERS KITCHEN

SCALE 1:100

CAMPERS KITCHEN AREA	= 113.83m ²
CAMPERS ALFRESCO AREA	= 36.45m ²
TOTAL	= 150.28m²

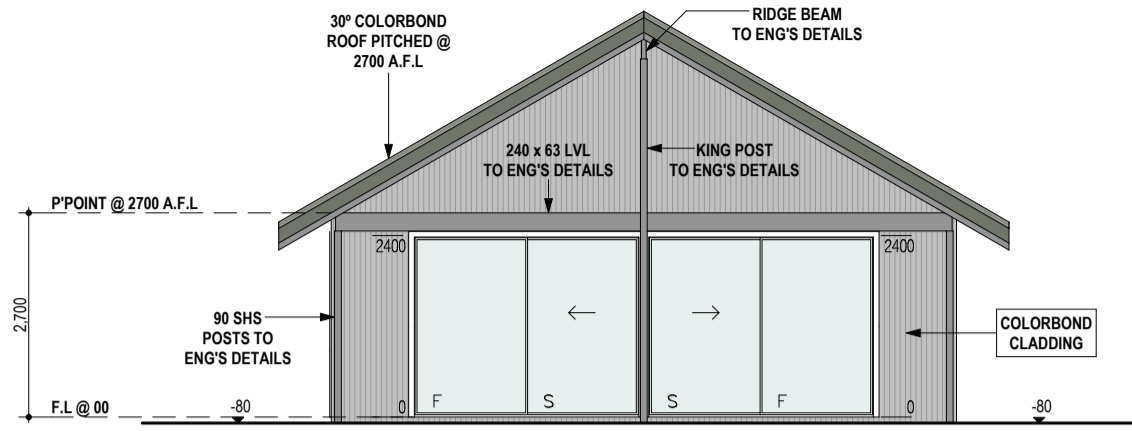
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D/A SET

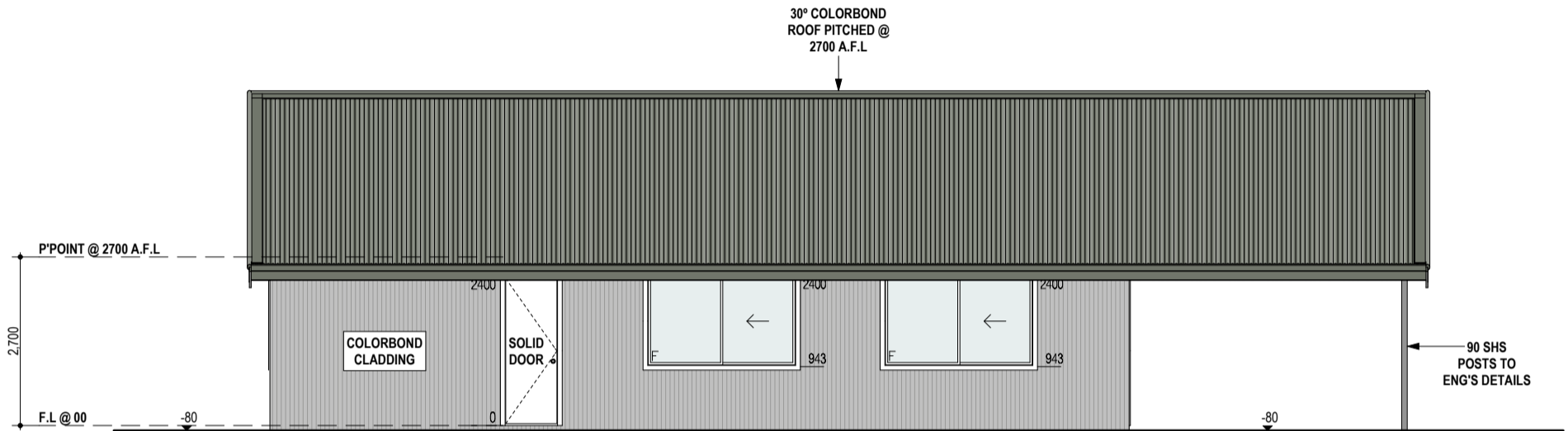
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CLIENT NAME	DA & PA BANTOCK

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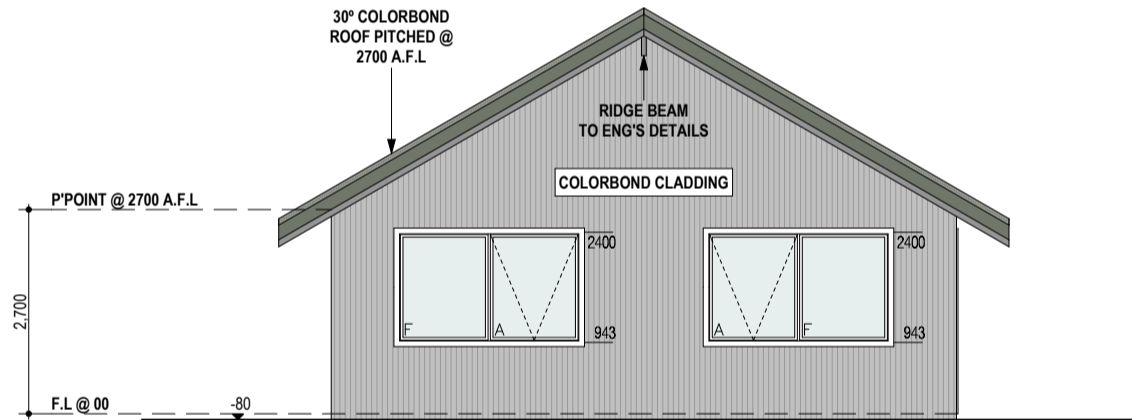
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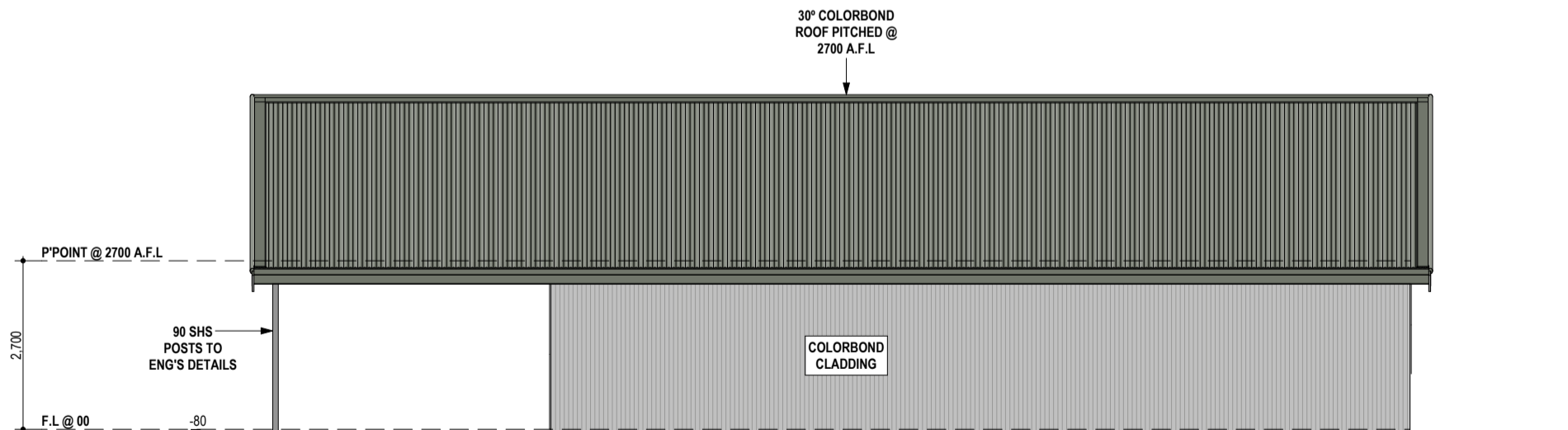
C1 ELEVATION
1:100



C2 ELEVATION
1:100



C3 ELEVATION
1:100



C4 ELEVATION
1:100

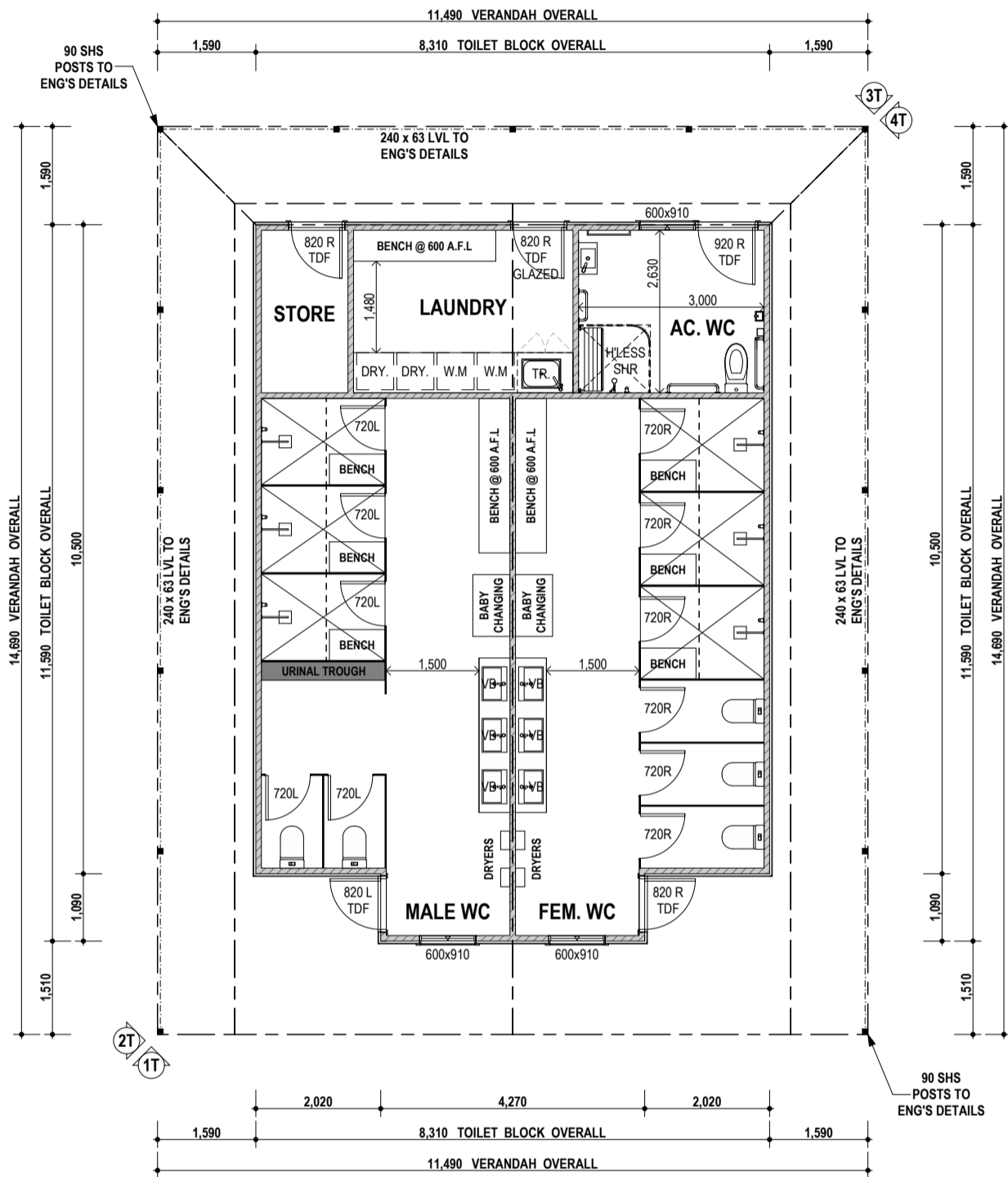
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D/A SET

PROJECT	93 MOGUMBER YARAWINDAH ROAD, MOGUMBER SHIRE OF VICTORIA PLAINS
CLIENT NAME	DA & PA BANTOCK

SHEET	
CAMPERS KITCHEN ELEVATIONS	
INITIAL DESIGNER	DATE PRINTED
LM	19/02/2026
PAPER PRINTED	DRAWING No.
@A3	2 of 6

PROPOSED BUILDING



TOILET & SHOWER BLOCK

SCALE 1:100

TOILET BLOCK AREA = 93.67m²

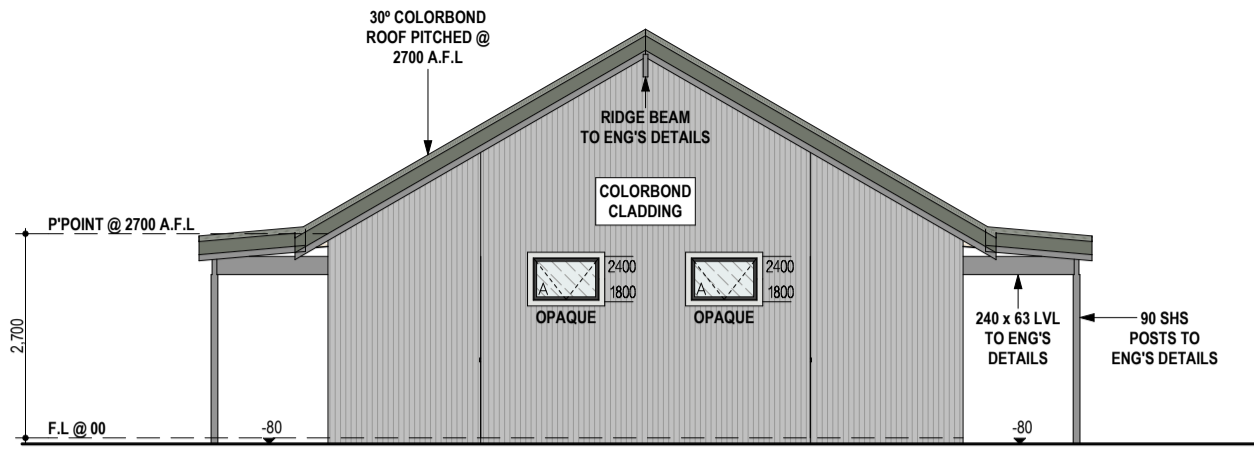
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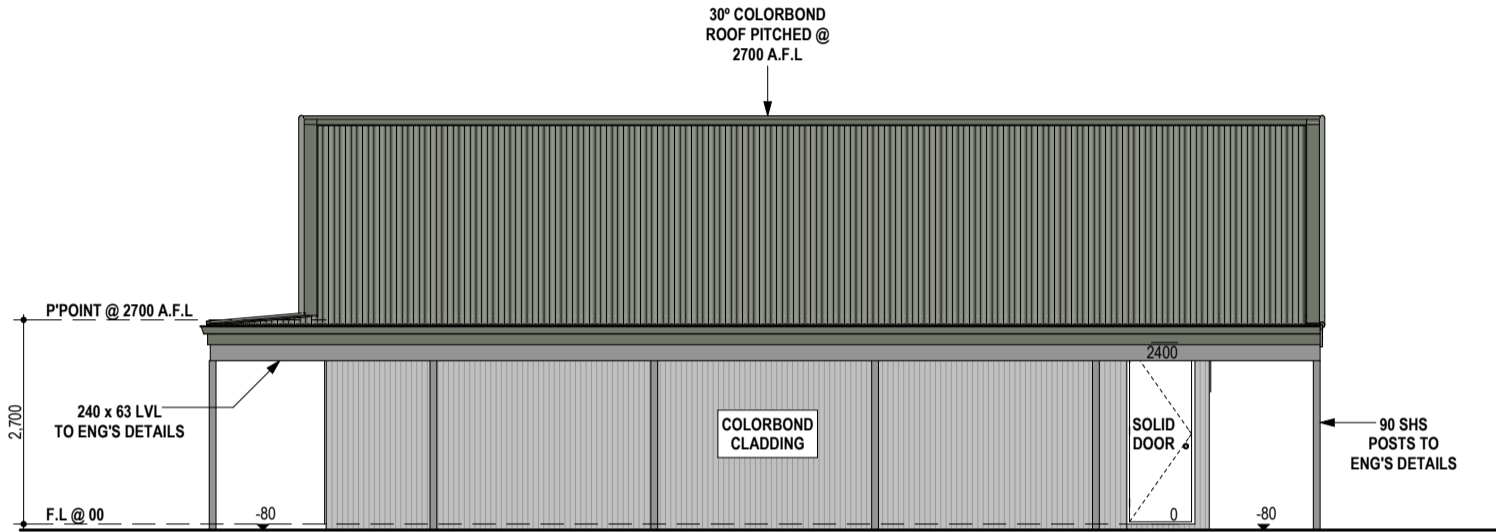
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SHEET		TOILET BLOCK PLAN	
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PAPER PRINTED	@A3	DRAWING No.	3 of 6

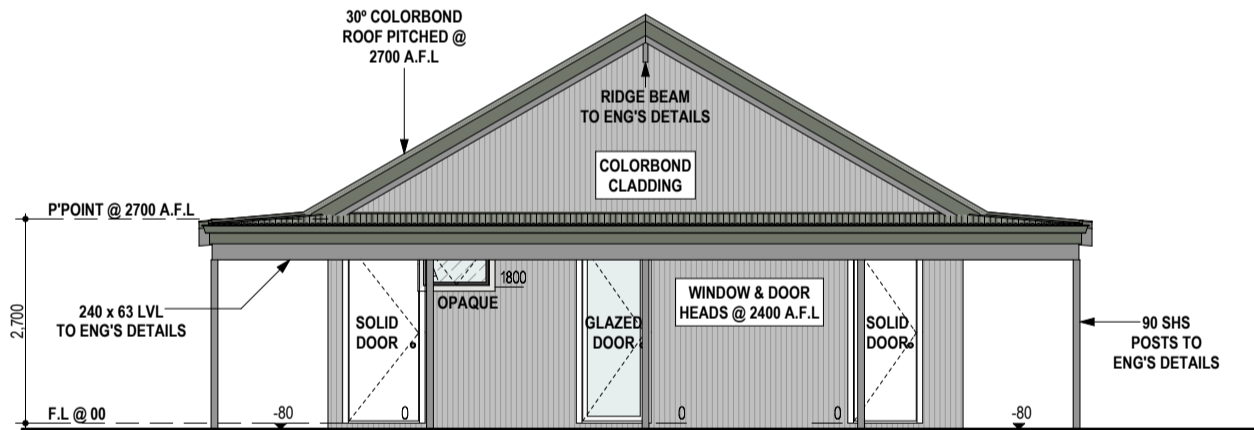
PROPOSED BUILDING



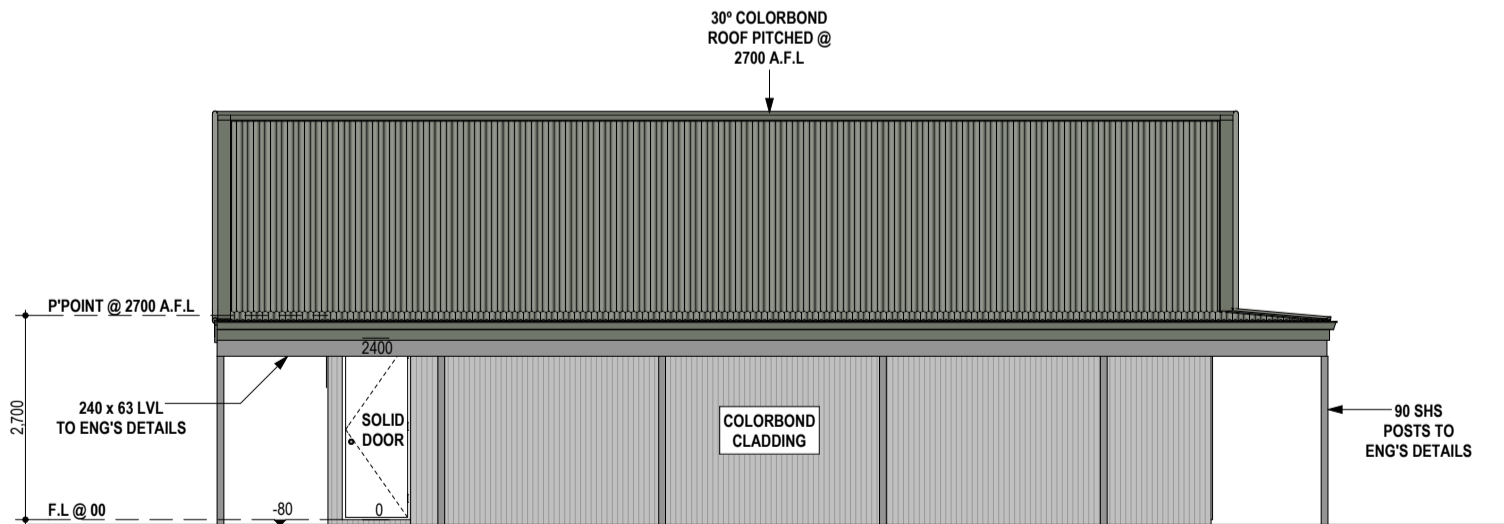
T1 ELEVATION
1:100



T2 ELEVATION
1:100



T3 ELEVATION
1:100



T4 ELEVATION
1:100

REV.	ITEMS	DRN	PM	DATE
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03	D/A SET	LM	LM	19/02/2026

D/A SET

PROJECT	93 MOGUMBER YARAWINDAH ROAD, MOGUMBER SHIRE OF VICTORIA PLAINS
CLIENT NAME	DA & PA BANTOCK

SHEET		TOILET BLOCK ELEVATIONS	
INITIAL DESIGNER	LM	DATE PRINTED	19/02/2026
PAPER PRINTED	@A3	DRAWING No.	4 of 6

VISIT *Mogumber*

Operational Management Plan



Introduction

The Mogumber Riverside Lodge provides accommodation primarily for tourists, but on the occasion workers who need temporary housing due to the remote location of their work site or the nature of their jobs.

This document provides an overview of the business and its operations.

Target Market

The target markets for the accommodation includes:

- Tourists
- Local residents of the Shire of Victoria Plains
- Road construction crews
- Seasonal agricultural workers

Number of Guests

The Mogumber Riverside Lodge will house up to 8 guests via:

- 8 individual bedrooms, including 1 with disability access
- 3 bathrooms, including 1 with disability access
- Shared kitchen, lounge and alfresco areas.

The caravan park will be able to cater up to a maximum of 19 caravans and 5 tents.

Hours of Operation

The site is open to guests 24/7 to ensure that all guests have access to essential services at any time. It is estimated that the majority of the guests will:

- Check-in between 4pm-7pm
- Check-out between 5pm-9am

Housekeeping and maintenance will be conducted between 9am-4pm.

Staffing

The staffing is critical to providing a comfortable and efficient living environment for guests. Various roles are necessary to ensure smooth operations, including:

- Management: Oversee overall operations, guest satisfaction, security and compliance with regulations.
- Host: Handle check-ins, check-outs, and guest inquiries.
- Housekeeping: Maintain cleanliness and hygiene in rooms and common areas.
- Maintenance: Address any repair and upkeep needs within the facility.

Staffing will be sourced locally and overseen by the management team who live within proximity to the property.

Facilities and Services

The following facilities and services will be open to all guests of the site:

- Kitchen & BBQ facilities.
- Recreational facilities such as gym equipment, pool table and darts.
- Laundry.
- WiFi access.
- An incidental museum displaying the history of the locality.

Check in Procedures

Bookings are taken by Management via:

- Visit Mogumber Website and online booking system.
- Phone and/or email.

The booking process provides detailed check in procedures, including but not limited to:

- Directions to the property, including a map and visual cues.
- Location to meet check in staff.
- Late night check in process.
- Facility rules, requirements and safety processes.

Waste Management

The Mogumber Riverside Lodge has waste management procedures designed to minimise waste, promote recycling, and ensure proper disposal of waste materials. Procedures will:

- Educate and involve guests in minimising waste.
- Train staff on minimising, handling and disposing of waste.
- Use external contractors to professionally deal with the removal of waste.

Local Amenity & Mitigation Measures

The following measures and plans are in place limit amenity and antisocial impacts.

- The location of the accommodation is well setback from all boundaries, and more so from habitable buildings on adjacent land.
- Clear communication of rules and policies regarding behaviour expectations will be issued to guests via the check in process. Signage, and digital platforms are also used to deter noise and antisocial activity.
- An extensive CCTV system has been installed around the property to provide management 24/7 access to real time onsite activity.
- Training staff will help staff recognise and manage antisocial behaviour ensuring quick and effective intervention.
- Vegetation screening will provide increased visual separation from neighbouring properties.

Health & Safety

Ensuring the health and safety of guests is a top priority at the Mogumber Riverside Lodge operations. Measures include:

- Regular health and safety inspections.
- Compliance with local regulations and industry standards.
- Fire safety measures via a Bushfire Management Plan and Bushfire Evacuation Plan.
- Training for staff in first aid and emergency procedures.
- Provision of personal protective equipment (PPE).

Complaints Management

A well-defined complaints procedure will be in place to address any arising issues efficiently and to ensure harmony within the community. This document procedure outlines:

- Initial communication
- Formal complaint submission
- Acknowledgement
- Investigation
- Resolution

Conclusion

The Mogumber Riverside Lodge plays a vital role in tourists and supporting industries that require their employees to work away from home, often in remote and challenging locations. The site provides a comfortable, safe, and efficient living arrangement within a rural setting. The successful operation of the Mogumber Riverside Lodge involves careful planning, robust staffing, and adherence to health and safety standards.



BushfireWest

Bushfire Management Plan

Development application:

Tourist development and caravan park

No. 93 Mogumber-Yarawindah Rd, Mogumber



BPAD

Bushfire
Planning & Design
Accredited Practitioner
Level 3

Ref: 250909

Version: B

Mar 2026

REPORT DETAILS

Subject Land

Lot on Plan	Lot 2 on Plan P061671
Address	No. 93 Mogumber-Yarawindah Road, Mogumber (6506)
Land Area	4.88 hectares
Local Government	Victoria Plains
Zoning	Rural
Proposal description	Tourist development and caravan park, change of land use and development proposal.
Bushfire Prone Land	Bushfire-Prone Area category 2

Document Reference

Ref.250909	Date	Purpose
A	30 Oct 2025	Consultation / development application.
B	11 Mar 2026	Updated site plan and land use description.

Author

Practitioner	Accreditation Level	Accreditation No.
Jeremy Durston	Level 3	BPAD-36525

Bushfire and weather conditions can be extremely dangerous and unpredictable. The management of bushfire risk will depend on, among other things, the actions of property owners and/or occupiers over which the author has no control.

All surveys, forecasts, projections, and recommendations made in this report are made in good faith based on information available at the time. All maps included herein are indicative in nature and are not to be used for accurate calculations.

Notwithstanding anything contained therein, the author will not, except as the law may require, be liable for any loss or other consequences arising out of the services provided.

Jeremy Durston
jeremy@Bushfire West.com.au
Bushfire West Pty Ltd



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3. Environmental Considerations	7
4. Bushfire Assessment	8
5. Bushfire Hazard Issues	18
6. Assessment against the Bushfire Protection Criteria	19
7. Responsibilities for Implementation and Management	21
8. Conclusion.....	22

Attachment 1 – Fire Hazard Reduction Notice

Attachment 2 – Asset Protection Zone Standards

Attachment 3 – Driveway Standards

Attachment 4 – Firefighting Water Tank Standards

Attachment 5 – Bushfire Emergency Plan

1. Report Summary

This Bushfire Management Plan (BMP) has been prepared for the proposed tourist development and caravan park to be located at No. 93 Mogumber-Yarawindah Rd, Mogumber. The BMP assesses the proposal against *State Planning Policy 3.7* (SPP 3.7) and the associated *Planning for Bushfire Guidelines* (the Guidelines).

The primary purpose of this report is to provide the required bushfire planning information to inform the assessment process for the development. The bushfire protection measures required to manage the bushfire risk are specified in accordance with the Guidelines.

The conclusion of this report is that the prescribed bushfire protection measures will achieve the required acceptable solutions from the Planning for Bushfire Guidelines. The aims and objectives of SPP 3.7 can thus be readily satisfied.

2. Proposal Details

Proposal Description

The tourist development and caravan park proposal (Figure 1) incorporates the conversion of existing buildings into lodge accommodation and caretaker residence with incidental land uses, and the additional development of the eastern section of the site with cabins, caravan sites, camping area and associated facilities.

Assessment Context

The site (Figure 2) is located on the Mogumber-Yarawindah Road approximately 1km to the east of the Mogumber township. Mogumber-Yarawindah Road is a through-road connecting with Bindoon-Moora Rd to the west and with the Great Northern Hwy to the east. The site is not serviced by a reticulated water supply, and the nearest emergency water is located approximately 500m to the west.

To the west of the site is an area of landscape-scale, native vegetation within a public open space reserve that extends along a section of the Moore River adjacent to the northern boundary of the site. The wider locality is generally characterised by broad-acre agricultural land.

The Mogumber-Yarawindah Road provides access and egress in both west and east directions. The Mogumber Outback Club (The Hub), located within the Mogumber townsite approximately 1km to the west of the site, provides an immediate evacuation destination beyond the designated bushfire-prone land. Alternative destinations are the town of Moora, 46km to the north, and Bindoon, 45km to the south. The Great Eastern Highway, 17km to the east, provides additional access and egress.

A section of the subject land is within a designated Bushfire-Prone Area category 2, and the proposal requires assessment against the Guidelines 'Bushfire Protection 8' applicable to a vulnerable commercial land use within a designated Bushfire-Prone Area.

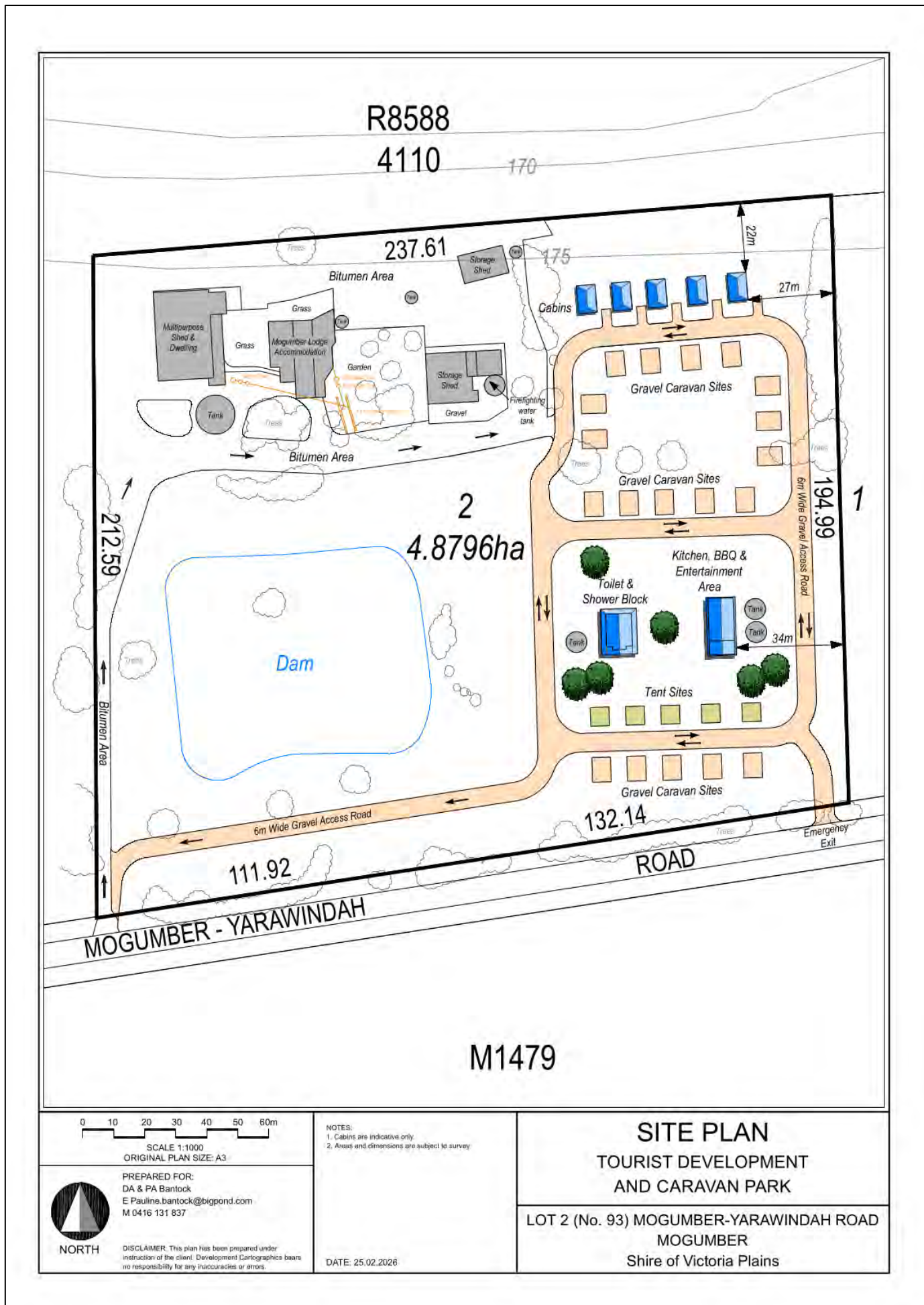


Figure 1: Development Site Plan

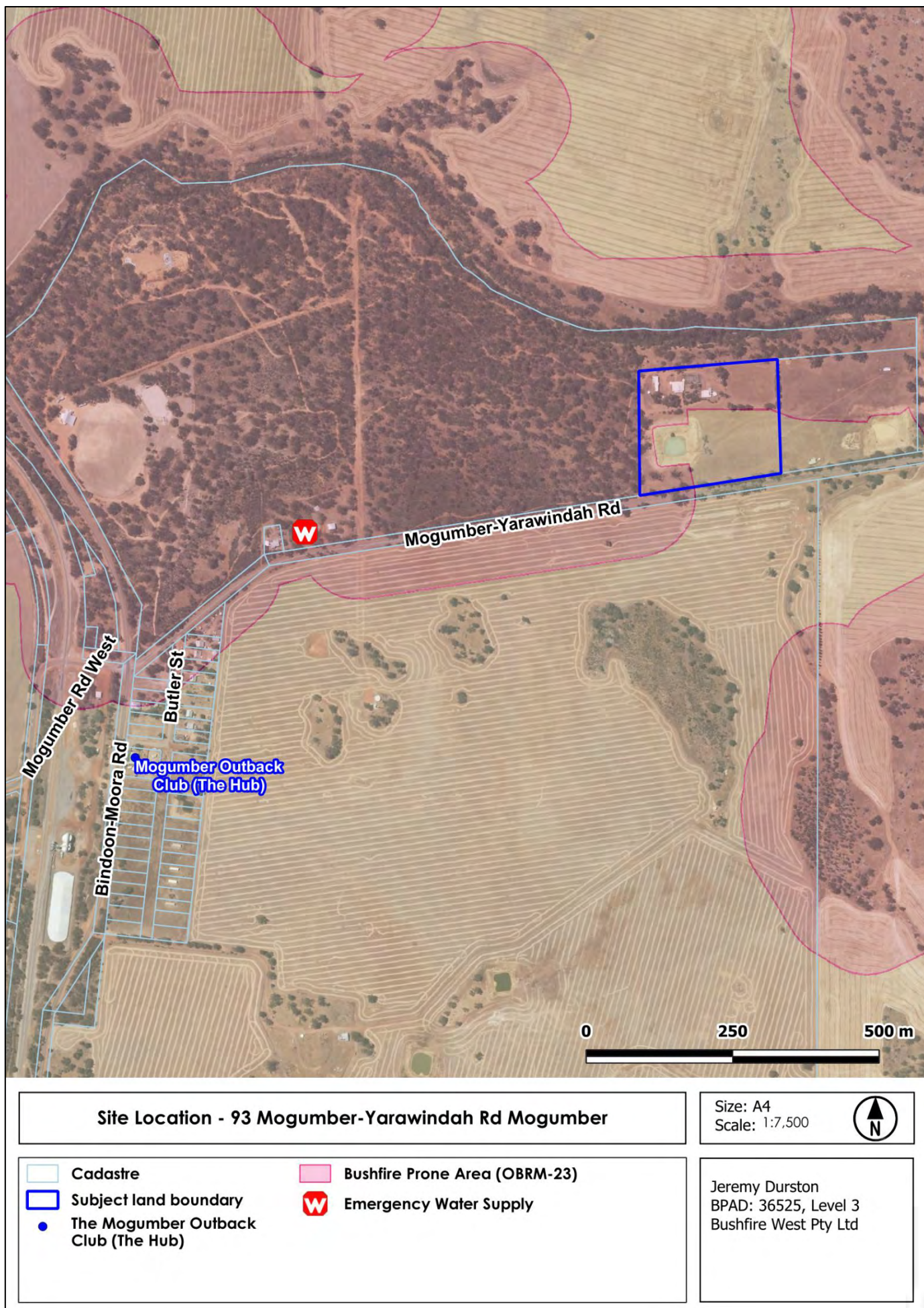


Figure 2: Location Map

3. Environmental Considerations

Environmental, Biodiversity & Conservation

Following is a desktop assessment of the potential environmental constraints for the proposal.

Table 1: Environmental Considerations

Environmental Data	Databases	Assessment
Conservation Wetland or buffer	DBCA-019 or DBCA-017	Not identified within site
RAMSAR Wetland	DBCA-010	Not identified within site
Threatened and Priority Flora	DBCA-036	Not identified within site
Threatened and Priority Fauna	DBCA-037	Not identified within site
Threatened Ecological Communities	DBCA-038	Not identified within site
Bush Forever Areas	DPLH-019	Not identified within site
Environmentally Sensitive Area	DWER-046	Not identified within site
Regionally Significant Natural Areas	DWER-070	Not identified within site

Native Vegetation – Modification & Clearing

Clearing of a small number of isolated native vegetation specimens will be required to accommodate the development. Additionally, minor trimming of native vegetation will be required in proximity to buildings to comply with the Asset Protection Zone standards.

Vegetation Management & Landscaping

Ongoing vegetation management within the site should ensure that the development does not become exposed to increased bushfire hazards in the future. Any landscaping of the site should be maintained for low-threat in accordance with AS3959-2018 clauses 2.2.3.2 (e) and (f).

4. Bushfire Assessment

BAL Assessment Inputs

The areas of vegetation within 150 metres of the site are mapped in Figure 3 along with the applicable AS3959 Clause 2.2.3 Table 2.3 classifications and/or Clause 2.2.3.2 exclusions. The potential vegetation hazards are assessed in their mature states on a post-development basis. Effective slopes were assessed in accordance with AS3959 Clause 2.2.5, with slope data measured on site and cross-referenced with Landgate elevation data.

The identified areas of classified vegetation are summarised in Table 2 and detailed in Table 3.

Table 2 Summary of classified vegetation and exclusions, post-development

Vegetation Area	On-site / Off-site	Vegetation Classification	Effective Slope
Area 1	Off-site	Class A Forest	Downslope >0 to 5 degrees
Area 2	Off-site	Class B Woodland	Downslope >5 to 10 degrees
Area 3	Off-site	Class B Woodland	Upslope
Area 4	Off-site	Class B Woodland	Upslope
Area 5	On-site	Class G Grassland	Upslope
Area 6	Off-site	Class G Grassland	Upslope
Area 7	Off-site	Class G Grassland	Upslope
Area 8	On-site	To be maintained for low-threat Exclusions 2.2.3.2 (e)&(f)	n/a

Table 3: Vegetation Hazard Assessment



Area ID	1	Vegetation Classification or Exclusion:	Class A Forest
Description:	Area of riparian vegetation adjacent to Moore River.		
Overstorey:	Trees with canopy cover greater than 30%.		
Understorey:	Shrubs and grass.		
Effective Slope:	Downslope >0 to 5 degrees.		
 <p style="text-align: center;">Photo 1a</p>		 <p style="text-align: center;">Photo 1b</p>	

Table 3 (cont.): Vegetation Hazard Assessment





Area ID	2	Vegetation Classification or Exclusion:	Class B Woodland
Description:	Area of native vegetation with open structure.		
Overstorey:	Trees with canopy cover less than 30%.		
Understorey:	Predominantly grass with isolated shrubs.		
Effective Slope:	Downslope >5 to 10 degrees.		
			
Photo 2a		Photo 2b	
			
Photo 2c		Photo 2d	

Table 3 (cont.): Vegetation Hazard Assessment

Area ID	3	Vegetation Classification or Exclusion:	Class B Woodland
Description:	Area of native vegetation with open structure.		
Overstorey:	Trees with canopy cover less than 30%.		
Understorey:	Predominantly grass with isolated shrubs.		
Effective Slope:	Upslope.		
 <p>Photo 3a</p>		 <p>Photo 3b</p>	





Area ID	4	Vegetation Classification or Exclusion:	Class B Woodland
Description:	Roadside vegetation strips.		
Overstorey:	Trees with canopy cover less than 30%.		
Understorey:	Predominantly grass with isolated shrubs.		
Effective Slope:	Upslope.		
 <p>Photo 4a</p>		 <p>Photo 4b</p>	

Table 3 (cont.): Vegetation Hazard Assessment

Area ID	5	Vegetation Classification or Exclusion:	Class G Grassland
Description:		Rural paddock.	
Overstorey:		Isolated trees with canopy cover less than 10%.	
Understorey:		Pasture grass.	
Effective Slope:		Upslope.	
 <p style="font-size: small; text-align: center;">BushfireWest2 15/10/2025 17 deg(T) -31.03567° +116.05517°</p>		 <p style="font-size: small; text-align: center;">BushfireWest g 20/9/2025 189 deg(T) -31.03442° +116.05575°</p>	
Photo 5a		Photo 5b	





Area ID	6	Vegetation Classification or Exclusion:	Class G Grassland
Description:		Rural paddock	
Overstorey:		Isolated trees with canopy cover less than 10%.	
Understorey:		Crops and pasture grass.	
Effective Slope:		Upslope.	
 <p style="font-size: small; text-align: center;">BushfireWest5 15/10/2025 53 deg(T) -31.03509° +116.05679°</p>		 <p style="font-size: small; text-align: center;">BushfireWest5 15/10/2025 83 deg(T) -31.03451° +116.05679°</p>	
Photo 6a		Photo 6b	

Table 3 (cont.): Vegetation Hazard Assessment

Area ID	7	Vegetation Classification or Exclusion:	Class G Grassland
Description:		Rural paddock.	
Overstorey:		Isolated trees with canopy cover less than 10%.	
Understorey:		Crops and pasture grass.	
Effective Slope:		Upslope.	
 <p style="text-align: center;">Photo 7a</p>		 <p style="text-align: center;">Photo 7b</p>	



Area ID	8	Vegetation Classification or Exclusion:	Excludable - 2.2.3.2(e) & (f) - Non Vegetated Areas & Low Threat Vegetation
Description:		The development site, required to be modified and maintained for low threat in future.	
 <p style="text-align: center;">Photo 8a</p>		 <p style="text-align: center;">Photo 8b</p>	

Table 3 (cont.): Vegetation Hazard Assessment

Area ID	8	Vegetation Classification or Exclusion:	Excludable - 2.2.3.2(e) & (f) - Non Vegetated Areas & Low Threat Vegetation
Description:		The development site, required to be modified and maintained for low threat in future.	
 <p data-bbox="209 371 754 394">BushfireWest7 15/10/2025 273 deg(T) -31.03406° +116.05656°</p> <p data-bbox="435 819 528 842">Photo 8c</p>		 <p data-bbox="871 371 1417 394">BushfireWest6 15/10/2025 305 deg(T) -31.03522° +116.05676°</p> <p data-bbox="1098 819 1190 842">Photo 8d</p>	
 <p data-bbox="209 875 754 898">BushfireWest 20/9/2025 118 deg(T) -31.03394° +116.05466°</p> <p data-bbox="435 1323 528 1346">Photo 8e</p>		 <p data-bbox="871 875 1417 898">BushfireWest 20/9/2025 301 deg(T) -31.03439° +116.05573°</p> <p data-bbox="1098 1323 1190 1346">Photo 8f</p>	

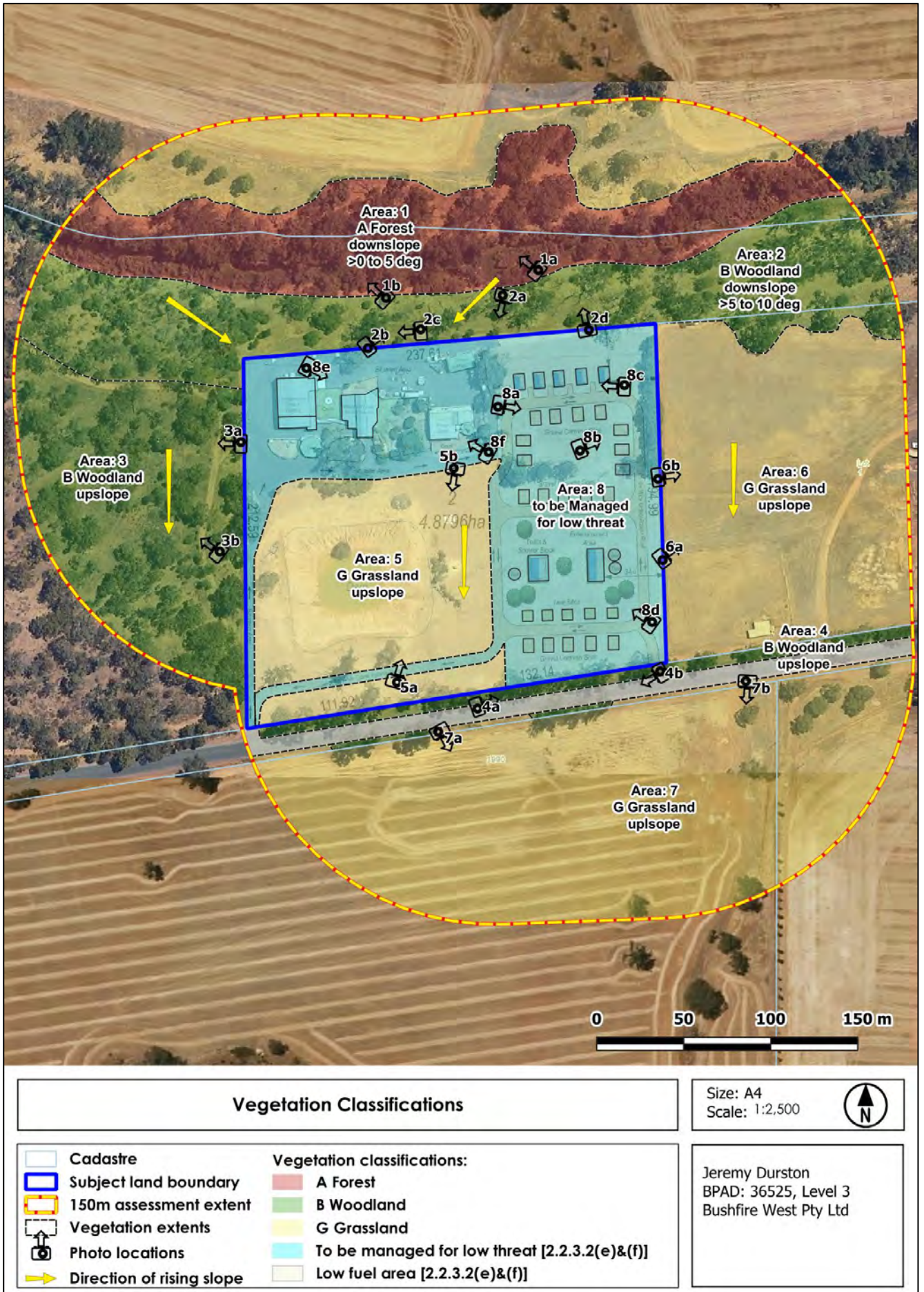


Figure 3: Vegetation Classification Map

BAL Assessment Outputs

Potential bushfire impact analysis was undertaken in accordance with AS3959 Simplified Procedure in accordance with Clause 2.2.6 to determine the potential worst-case scenario radiant heat impact to the proposal (post-development). The resulting BAL ratings are summarised in the following tables and illustrated in the BAL Contour Map (Figures 4 & 5) prepared in accordance with the Planning for Bushfire Guidelines.

Table 4: BAL rating variables, post-development

Vegetation Classification	Slope	BAL-FZ	BAL-40	BAL-29	BAL-19	BAL-12.5
Class A Forest	Downslope >0 to 5 degrees	<20m	20 to<27m	27 to<37m	37 to<50m	50 to<100m
Class B Woodland	Downslope >5 to 10 degrees	<16m	16 to<22m	22 to<31m	31 to<43m	43 to<100m
Class B Woodland	Upslope	<10m	10 to<14m	14 to<20m	20 to<29m	29 to<100m
Class G Grassland	Upslope	<6m	6 to<8m	8 to<12m	12 to<17m	17 to<50m
Exclusions 2.2.3.2	n/a	n/a	n/a	n/a	n/a	n/a

As illustrated in the BAL Contour Map, the buildings associated with the proposal are assessed as follows:

Table 5: Maximum BAL ratings for applicable buildings, post development

Development Component	Maximum BAL Ratings	Notes
Lodge accommodation	BAL-29	Bushfire construction standards apply.
Caretaker dwelling	BAL-29	Bushfire construction standards apply. The residential unit is to be fire separated from the adjoining multipurpose shed in accordance with National Construction Code requirements.
Caravan Park Cabins 1 to 5	BAL-29	Bushfire construction standards apply.
Caravan Park Kitchen	BAL-12.5	No bushfire construction standards apply.
Caravan Park Toilet/Shower block	BAL-12.5	No bushfire construction standards apply.

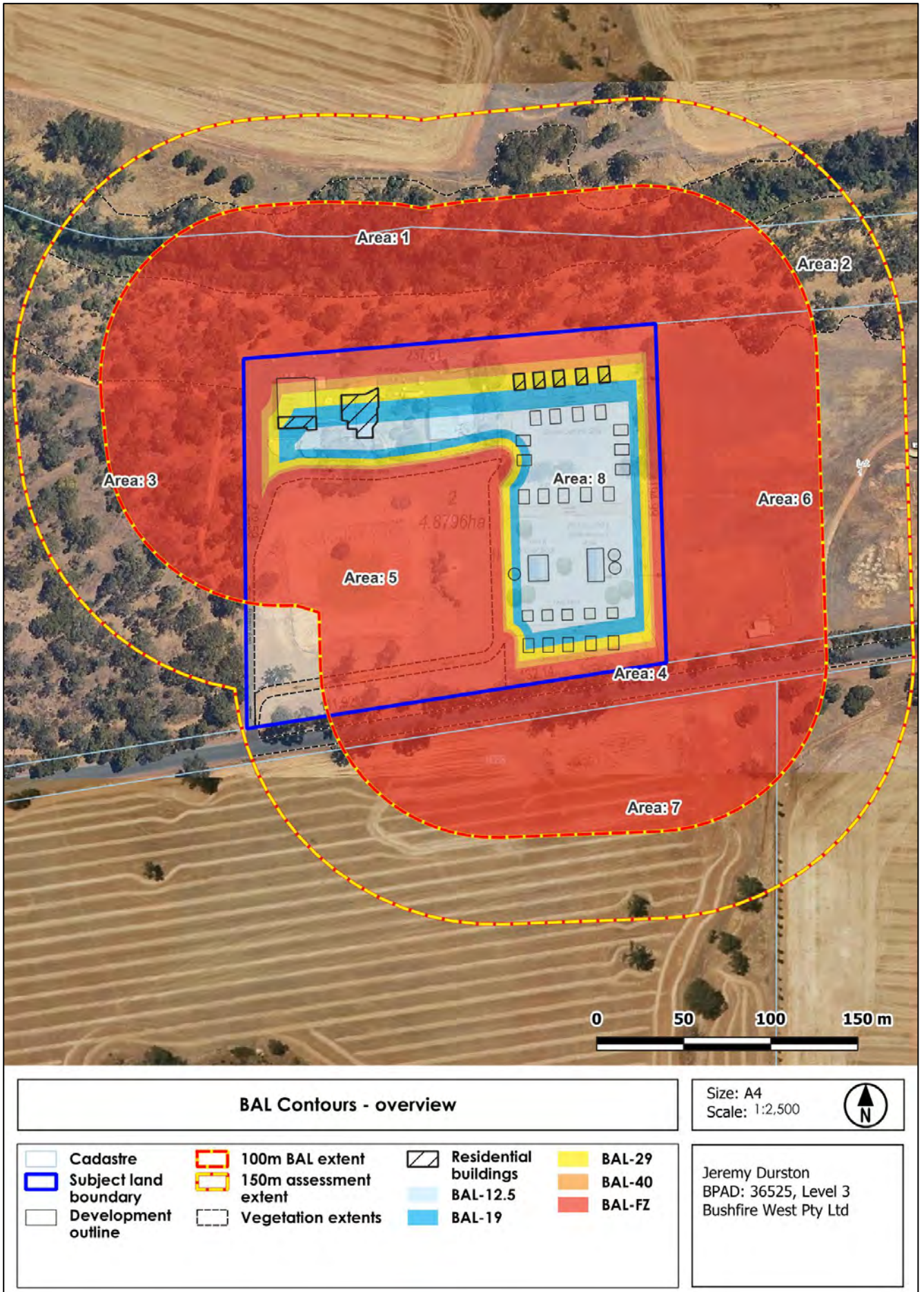


Figure 4: BAL Contour Map

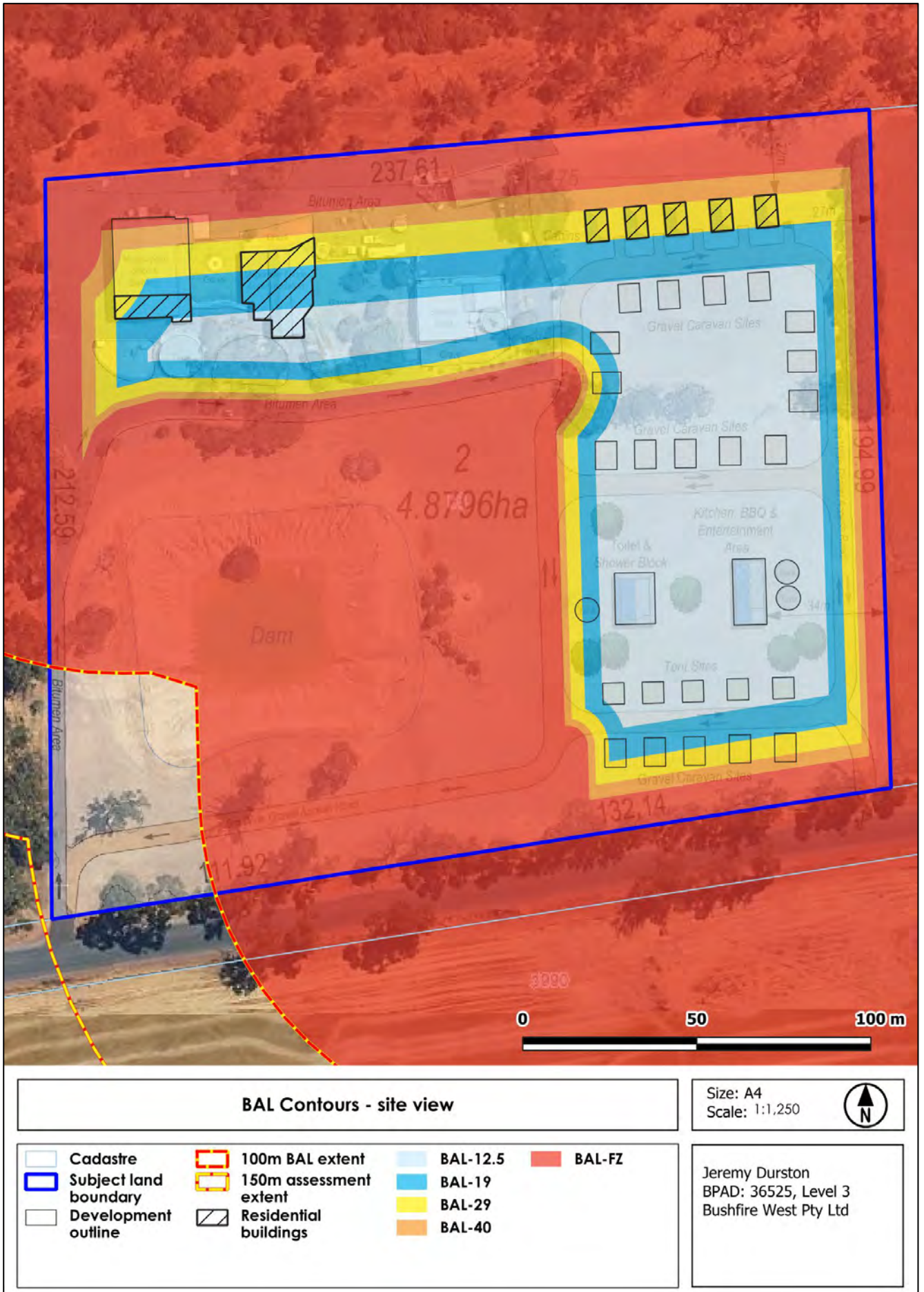


Figure 5: BAL Contour Map – site view

5. Bushfire Hazard Issues

The following bushfire hazard issues are identified with respect to the proposed development:

Vegetation & Hazard Separation

The primary bushfire hazard vegetation is located externally to the subject land, and onsite grasslands may contribute to the spread and intensity of a bushfire.

The following issues are required to be addressed:

- Development siting requires assessment against the Guidelines with respect to the identified bushfire hazards.
- The development site requires maintenance for low-threat in accordance with AS3959-2018 clause 2.2.3.2 (f) to achieve separation from the assessed bushfire hazards.
- Asset Protection Zones are required for relevant buildings in accordance with the Guidelines.
- The Shire of Victoria Plans Fire Hazard Reduction Notice stipulates additional measures such as management of onsite hazards and maintenance of firebreaks.

Access & Egress

Primary vehicular access is via Mogumber-Yarawindah Rd, with internal access incorporating a loop design and two potential road access points.

The following issues are required to be addressed:

- The Mogumber-Yarawindah Rd requires assessment with respect to the Guidelines.
- The proposed internal access ways require assessment against the applicable requirements under the Guidelines.

Firefighting Water

The subject land is not serviced by a reticulated water supply. Sufficient water should be available for the defence of people, property and infrastructure against bushfire.

The following issue is required to be addressed:

- The requirement for firefighting water is to be assessed against the Guidelines.

Vulnerable Land Use

The proposed development is a Vulnerable Land Use due to the potential for occupants to be unfamiliar with local bushfire conditions and evacuation alternatives.

The following issue is required to be addressed:

- Emergency and evacuation planning should be conducted with respect to the Guidelines.

6. Assessment against the Bushfire Protection Criteria

Compliance Assessment & Required Measures

Following is the assessment against the Guidelines 'Bushfire Protection Criteria 8' relevant to the development of a vulnerable, commercial land use.

Table 6: Assessment against the Planning for Bushfire Guidelines

Element	Acceptable Solution (A)	Compliance Assessment & Required Measures
1. Location	n/a	Not Applicable to a development application.
2. Siting of Development	A2.1 Siting & Design	Complies with the Guidelines. Habitable buildings achieve a potential radiant heat impact not exceeding 29 kW/m ² (BAL-29).
	A2.2 Asset Protection Zone (APZ)	To Comply with the Guidelines. Habitable buildings are to have an APZ in accordance with the Guidelines and Local Government requirements.
	A2.3 Clearing of Native Vegetation	Complies with the Guidelines. No clearing of significant native vegetation is required.
	A2.4 Landscape Management Plan	To Comply. Site landscaping is to be maintained for low-threat in accordance with AS3959-2018 clause 2.2.3.2 (f).
	A2.5 On-site Shelter - schools	Not Applicable.
	A2.6 Storage of dangerous materials	Not Applicable.
3. Vehicular Access	A3.1 Public roads	Complies with the Guidelines. Public road access complies with the technical requirements of the Guidelines Appendix B3 Table 10.
	A3.2 Access routes (Area 2)	Complies with the Guidelines. Mogumber-Yarawindah Road provides suitable destinations when travelling to the west and east.
	A3.3a No-through-roads (Area 2)	Not Applicable. Mogumber-Yarawindah Road is a through-road.
	A3.3b No-through-road requirements	Not Applicable.
	A3.4 Emergency Access Way	Not Applicable.
	A3.5 Fire Service Access Route	Not Applicable.
	A3.6 Internal Access, Private Driveways	To Comply with the Guidelines. Internal vehicle accessways are to be suitable for firefighting appliances and vehicles of tourist development and caravan park occupants, including those towing trailers or caravans.
	A3.7 Signage	To Comply with the Guidelines. Signage is to be provided advising access routes, destinations, travel distances, and general information on what to do in the event of a bushfire.
4. Water	A4.1 Identification of water supply	To Comply with the Guidelines. An onsite firefighting water supply is required to be maintained with access suitable for firefighting appliances.

The required bushfire protection measures are indicated in Figure 6. The final siting of the required measures may be altered, provided compliance is maintained with all relevant standards.



Figure 6: Bushfire Protection Measures

7. Responsibilities for Implementation and Management

Once adopted, this Bushfire Management Plan requires the following measures to be implemented:

Table 7: Implementation & Management Schedule

LANDOWNERS RESPONSIBILITIES – before occupancy and thereafter	
No.	Bushfire Mitigation Measure
1	<p>Establish and maintain the Asset Protection Zones (APZs) The APZs in accordance with this Bushfire Management Plan are to extend 22m to the north and otherwise 20m from all relevant building elevations, measured from walls, veranda posts, attached structures and/or any adjacent structure within 6m of a building. All relevant habitable buildings are to achieve ratings of BAL-29 or lower. The spacing and ongoing maintenance of all vegetation within the APZ, including existing and any future landscaping, plantings and/or re-vegetation, is required to comply. The management of fine fuel loads is required to comply. A defendable space with min. 3m width is required immediately surrounding the building. Any fencing within the APZ is required to comply. The positioning of any domestic gas cylinder within the APZ is required to comply. The required Asset Protection Zone standards from Appendix B of the Guidelines for Planning in Bushfire-Prone Areas are detailed in the attachments to this report.</p>
2	<p>Modify and maintain the tourist development and caravan park site for low threat. The site, including any future landscaping, plantings and/or re-vegetation, is to be modified and maintained for low threat in accordance with the standards of AS3959-2018 clauses 2.2.3.2 (e) and (f), including regular slashing of grass, trimming of trees and removal of dead vegetation, plant litter and other flammable materials.</p>
3	<p>Install and maintain internal vehicle access ways. Internal vehicle access ways are to have a min. 6m wide surface to allow vehicle passing. Clearance from vegetation or other obstacles, such as fencing and gate posts, is required to a min. 6m horizontally (width) and 4.5m vertically (height). Where an internal accessway terminates in a dead-end, a turnaround point is required that is suitable for a firefighting appliance, otherwise a loop design will provide turnaround capability. The required driveway standards from the Guidelines for Planning in Bushfire-Prone Areas are detailed in the attachments to this report.</p>
4	<p>Install and maintain the firefighting water tank with compliant valve/connection and fittings. The firefighting water supply is to be in accordance with all relevant regulation, and should include capacity of 10,000L per habitable building and an additional 50,000L for the open area for caravans and camping sites. The water tank outlet valve is to be located within 4m of a vehicle hard stand suitable for access by a firefighting appliance. The required firefighting water standards from the Guidelines for Planning in Bushfire-Prone Areas are detailed in the attachments to this report.</p>
5	<p>Finalise and adopt the Bushfire Emergency Plan. With consideration to the Planning for Bushfire Guidelines and including details of nominated emergency personnel, responsibilities and contact details.</p>
6	<p>Residential buildings are to be constructed to the applicable bushfire standards of the National Construction Code. The caretaker dwelling is to be fire-separated from the adjoining multipurpose shed in accordance with National Construction Code requirements.</p>
7	<p>Comply with any required Local Government measures. Including any relevant notice issued under s.33 of the Bush Fires Act 1954.</p>

8. Conclusion

In the author's professional opinion, the bushfire protection measures detailed within this report will achieve the required acceptable solutions from the Planning for Bushfire Guidelines. Accordingly, the aims and objectives of SPP 3.7 can be satisfied and the proposal is recommended for approval.

Attachment 1

Fire Hazard Reduction Notice

source: Shire of Victoria Plains

Notice under s. 33 of the *Bush Fires Act 1954*

FIRST AND FINAL WARNING



Notice is hereby given to all landowners/occupiers within the Shire of Victoria Plains that you are required on or before 1 October Annually to comply with the below directives to reduce the outbreak, spread and extension of a bushfire and maintain at that standard until 29 March Annually under s. 33 of the *Bush Fires Act 1954*.

Failure to comply with this notice may incur penalties up to \$5000 and the required works carried out at the expense of the owner/occupier.

Requirements of land 4000-meter square and under	Requirements of land 4001-meter square and over
<ul style="list-style-type: none">• Slashing Dead flammable matter including dead grass shrubs and plants shall be slashed, mowed or trimmed down by other means to a height no greater than 50mm across the entire property.• Asset Protection Maintain all dead flammable material below 2 tonne per hectare across the entirety of the property. (See definitions for fuel load)• Clean Gutters Ensure roofs, gutters and walls of all buildings are free of flammable matter.	<ul style="list-style-type: none">• Slashing Dead flammable matter including dead grass shrubs and plants shall be slashed, mowed or trimmed down by other means to a height no greater than 50mm across the entire property. Unless used for pasture or crop.• Asset Protection Maintain all dead flammable material below 2 tonne per hectare extending 20 meters out from all buildings. (See definitions for fuel load)• Clean Gutters Ensure roofs, gutters and walls of all buildings are free of flammable matter.• Fire Breaks Install a minimum 3-meter-wide and 4-meter-height clearance fire break no further than 3 meters away from;<ul style="list-style-type: none">- The entirety of the property boundary- Every 400 hectares of land- All buildings, sheds and fuel storage- All stationary internal combustion engines- All electric motors or pumps
<p>Harvesting: A separate firefighting appliance is required to be present in any paddock being harvested, churning, raking stubble, straw baling and associated allied activities during restricted and prohibited periods. The firefighting unit must be in a state of readiness and have a minimum capacity of 400 litres of water, a powered pump and minimum 20m hose. The farm firefighting unit should be parked on bare ground in or near the harvesting or working area.</p>	
<p>Plantations: Plantations 3 hectares or less</p> <ul style="list-style-type: none">• Require a 6-meter-wide by 4-meter-height clearance fire break around the entirety. <p>Plantations over 3 hectares</p> <ul style="list-style-type: none">• 15-meter-wide by 4-meter-height clearance fire break around the entirety• 6-meter-wide by 4-meter-height clearance internal fire breaks a minimum of every 30 hectares• Minimum of 25,000L water supply and hard stand for every 50 hectares no further than 20 minutes turnaround	
<p>Other works: A Fire Control Officer may direct in writing other works to be carried out.</p>	

Bushfire Management Plans:

All properties that are subject to a Bushfire Management Plan as a result of a subdivision, development application or a Shire approved treatment plan must comply with the requirements of such plans in their entirety in addition to the requirements of this notice.

Definitions

Fire break

Trafficable clearing for heavy 4WD vehicles.
No less than 3 meters wide and 4 meters vertical clearance.
Must be constructed in a continuous form with no obstructions or dead ends.
Must not contain any flammable material.
Must not be further than 3 meters off the property boundaries.

Fuel measurement – Asset Protection Zone

Fuel load refers to dead, flammable materials such as leaf litter, dry grass, woods under 6mm in diameter. 2.7 Tonne per hectare as per the Shire of Victoria Plains Fuel Load Measuring tool provided on the Shire website or upon request from the Shire administration.

Plantation:

Any area of planted trees, other than a wind break, that exceeds three hectares in a gazetted town site or elsewhere a stand of trees of 10 hectares or larger, that has been established by sowing or planting native or exotic tree species selected and managed intensively for their commercial and environmental value. A plantation includes roads, tracks, firebreaks and small areas of native vegetation.

Variation Request

The Shire of Victoria Plains understands that not all land owners/occupiers are able to complete the requirements set out by this notice. In these circumstances the owner/occupier must complete a Request for Variation form no later than 1 September.

A Variation request must be completed in whole for consideration by the Shire and may be rejected for any reason the Shire feels fit. **NOTE: If the variation request is not approved then the applicant must comply with all requirements of this notice prior to 1 September.**

For an in-depth guide on how to comply with the Fire Hazard Reduction Notice, visit www.victoriaplains.wa.gov.au and download the Fire Safety Booklet.

Compliance inspection will be carried out by Fire Control Officers as of 1 October annually under the authority of the *Bush Fire Act 1954*.

Sean Fletcher
Chief Executive Officer



A: 28 Cavell St, Calingiri
P: (08) 9628 7004
F: (08) 9628 7008
E: reception@victoriaplains.wa.gov.au

Attachment 2

Asset Protection Zones Standards

*source: Department of Planning, Lands & Heritage,
Planning for Bushfire Guidelines*

APPENDIX B

B.2: SITING AND DESIGN

State Planning Policy outcome for Element 2: Siting and design

Ensure siting and design solutions:

- manage or mitigate the bushfire risk to people, property and infrastructure; and
- avoid, or where unavoidable, minimise clearing of native vegetation.

B.2.1 IDENTIFYING AN ASSET PROTECTION ZONE

An Asset Protection Zone (APZ) is a low fuel area, maintained around a building to increase the likelihood a building will survive a bushfire, by reducing the potential for direct flame contact, radiant heat exposure and ember attack. The APZ allows emergency services access and provides an area for firefighters and home-owners to defend their property.

The width of an APZ should ensure the radiant heat impact does not exceed 29 kW/m^2 for a habitable building, or 10 kW/m^2 where a building is identified for use as an on-site shelter. Where a building or development site achieves a radiant heat impact of 29 kW/m^2 or lower in its pre-development state (prior to any vegetation clearing or modification), an APZ is generally not required.

However, providing for the ongoing management of an APZ in perpetuity, as low threat vegetation, within the implementation section of the BMP and/or condition of development approval, will ensure the BAL rating of the building does not increase over time.

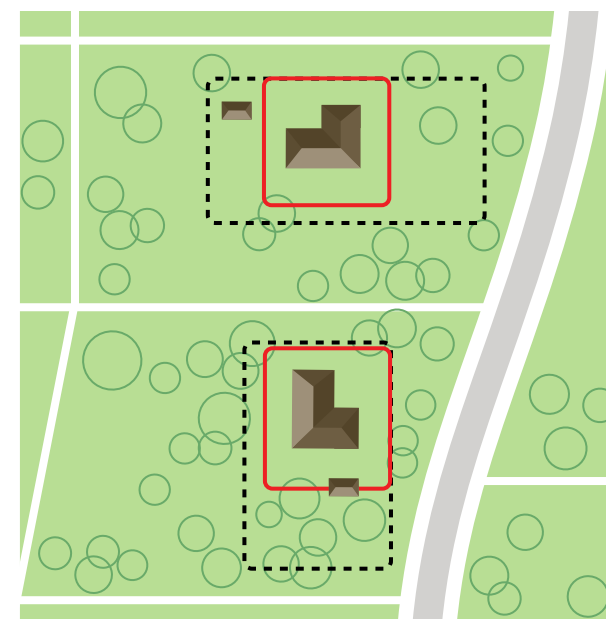
Clearing or modification of native vegetation to reduce the radiant heat impact below 29 kW/m^2 is generally not supported.

At the subdivision stage where a lot contains a building envelope, and the development site(s) is yet to be determined, the BMP should demonstrate the lot(s) can achieve an indicative development site(s) with a radiant heat impact not exceeding 29 kW/m^2 , within the building envelope (**Figure 24**).

It may not be necessary for an entire building envelope to achieve 29 kW/m^2 or lower, where this results in unnecessary clearing or modification of native vegetation.

An APZ should be contained within the boundaries of the lot on which the building is situated, except in instances where it is demonstrated the vegetation on the adjoining land is, and will continue to be, low threat as per cl. 2.2.3.2 of AS 3959, or the vegetation on the adjoining lot is, and will remain in perpetuity, non-vegetated. However, it should be noted there is no requirement for a neighbouring landowner or land manager (public or private) to be party to a legal agreement to undertake ongoing management of vegetation as low threat, in perpetuity.

Figure 24: Example of an APZ accommodated with a building envelope



APPENDIX B

Exclusion of vegetation on adjoining land, which is covered by a local government firebreak notice, issued under section 33 of the *Bushfires Act 1954*, may occur in limited circumstances at the development application stage. Where it is evident the adjoining landowner is managing the vegetation in accordance with the firebreak notice, a copy of the firebreak notice and photographic evidence of the managed vegetation should be included in a BMP. It will also be necessary to seek written confirmation from the local government, to confirm support for the exclusion.

B.2.2 DESIGNING AN ASSET PROTECTION ZONE

An APZ should not be seen as an area entirely cleared of vegetation, but as a strategically designed space that considers how existing and future mature vegetation, and combustible and non-combustible features interact with and affect the building's resilience to bushfire.

An APZ should provide the greatest level of vegetation management within at least three metres of a habitable building, to ensure adequate unobstructed defensible space for emergency services to operate. This area should contain minimal vegetation and be free of combustible materials and obstructions. Within the remainder of the APZ, planting of vegetation can increase as you move farther away from the building.

The placement of plants within an APZ is a key design technique. Separation of garden beds with areas of low fuel or non-combustible material will break up fuel continuity and reduce the likelihood of vegetation within an APZ supporting a bushfire. It is important to consider the plant density and final structure and form of plants in their mature state.

Strategic landscaping measures can be applied, such as replacing weeds with low flammability vegetation to create horizontal and vertical separations between the retained vegetation.

Mulches used within the APZ should be non-combustible. The use of stone, gravel, shells, rock and crushed mineral earth is encouraged. Very fine or light mulch (such as shredded pine bark, pine needles, or poplar woodchips) less than five millimeters in diameter should be avoided. It is recommended that wood mulch is used in garden beds or areas where the moisture level is higher by regular irrigation, and these areas are separated with non-combustible elements, such as pathways and open spaces.

Incorporation of landscaping features, such as masonry feature walls, can provide habitable buildings with barriers to wind, radiant heat and embers. These features can include noise walls or wind breaks. Use of Appendix F of AS 3959 for bushfire resistant timber selection or the use of non-combustible fencing materials such as iron, brick, limestone, metal post and wire is encouraged within an APZ.

B.2.3 MANAGEMENT OF AN ASSET PROTECTION ZONE

Ongoing maintenance of an APZ is usually enforced through a condition of a development approval, which should refer to **Table 9** APZ technical requirements within this Appendix.

In addition to regular maintenance of an APZ, further bushfire protection can be provided by:

- ensuring gutters are free from vegetation
- installing gutter guards or plugs

- regular cleaning of underfloor spaces, or enclosing them to prevent gaps
- trimming and removing dead plants or leaf litter
- pruning climbing vegetation (such as vines) on a trellis, to ensure it does not connect to a building, particularly near windows and doors
- removing vegetation in close proximity to a water tank to ensure it is not touching the sides of a tank
- following the requirements of the relevant local government firebreak notice, which may include additional provisions such as locating wood piles more than 10 metres from a building.

Preparation of a property prior to the bushfire season and/or in anticipation of a bushfire is beneficial even if your plan is to evacuate. Embers can travel up to several kilometres from a bushfire and fall into small spaces and crevices or land against the external walls of a building. Best practice recommends objects within the APZ are moved away from the building prior to any bushfire event. Objects may include, but are not limited to:

- door mats
- outdoor furniture
- potted plants
- shade sails or umbrellas
- plastic garbage bins
- firewood stacks
- flammable sculptures
- playground equipment and children's toys.

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OBJECT	REQUIREMENT
Shrub* and scrub* (0.5 m to 6 m in height). Shrub and scrub more than 6 m in height are to be treated as trees.	<ul style="list-style-type: none"> • Should not be located under trees or within three metres of buildings • Should not be planted in clumps more than five square metres in area • Clumps should be separated from each other and any exposed window or door by at least 10 metres.
Ground cover*(less than 0.5 m in height. Ground cover more than 0.5 m in height is to be treated as shrub)	<ul style="list-style-type: none"> • Can be planted under trees but must be maintained to remove dead plant material, as prescribed in 'Fine fuel load' above • Can be located within two metres of a structure but three metres from windows or doors if more than 100 mm in height.
Grass	<ul style="list-style-type: none"> • Grass should be maintained at a height of 100 mm or less, at all times • Wherever possible, perennial grasses should be used and well-hydrated with regular application of wetting agents and efficient irrigation.
Defendable space	Within three metres of each wall or supporting post of a habitable building; the area is kept free from vegetation but can include ground cover, grass and non-combustible mulches as prescribed above.
Liquid petroleum gas cylinders	<ul style="list-style-type: none"> • Should be located on the side of a building farthest from the likely direction of a bushfire or on the side of a building where surrounding classified vegetation is upslope, at least one metre from vulnerable parts of a building • The pressure relief valve should point away from the house • No flammable material within six metres from the front of the valve • Must sit on a firm, level and non-combustible base and be secured to a solid structure.

Notes:

* Plant flammability, landscaping design and maintenance should be considered – refer to following explanatory notes

Fine fuel load is the combustible, dead or dry vegetation matter on the ground, near ground, or elevated. Fine fuel includes grass, leaves, bark and twigs less than six millimetres in diameter that ignite readily and are burnt rapidly when dry.

Fine fuel should be maintained at less than 2t/ha. 100gm/m² equates to 1t/ha. To estimate a fuel load (in t/ha), collect the dry fine fuel from a representative one square meter and weigh (in grams using kitchen scales) and multiply the weight by 0.01.

APPENDIX B

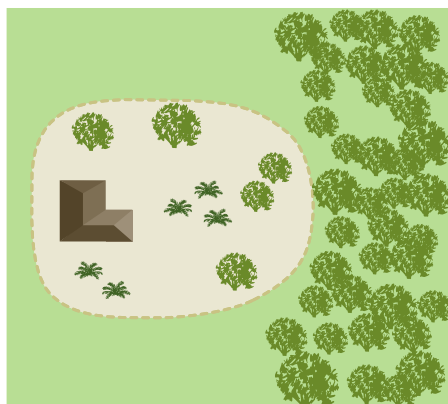
Table 9: Asset Protection Zone (APZ) technical requirements

OBJECT	REQUIREMENT
Fences within the APZ	Should be constructed from non-combustible materials (for example, iron, brick, limestone, metal post and wire, or bushfire-resisting timber referenced in Appendix F of AS 3959).
Fine fuel load (combustible, dead vegetation matter less than 6 mm in thickness)	<ul style="list-style-type: none"> • Should be managed and removed on a regular basis to be maintained as low threat vegetation • Should be maintained at less than two tonnes per hectare (on average) • Mulches should be non-combustible such as stone, gravel, shells, rock or crushed mineral earth or wood mulch more than five millimetres in thickness.
Trees* (more than 6 m in height)	<ul style="list-style-type: none"> • Trunks at maturity should be a minimum distance of six metres from all elevations of the building • Branches at maturity should not touch or overhang a building or powerline • Lower branches and loose bark should be removed to a height of two metres above the ground and/or surface vegetation. • Canopy cover within the APZ should be less than 15 per cent of the total APZ area • Tree canopies at maturity should be at least 5 m apart to avoid forming a continuous canopy. Stands of existing mature trees with interlocking canopies may be treated as an individual canopy provided the total canopy cover within the APZ does not exceed 15 per cent and is not connected to the tree canopy outside the APZ. <p data-bbox="882 986 1592 1018">Tree canopy cover – ranging from 15 to 70 per cent at maturity</p> <div data-bbox="882 1038 1664 1374"> <p data-bbox="981 1353 1032 1374">15%</p> <p data-bbox="1249 1353 1301 1374">30%</p> <p data-bbox="1518 1353 1570 1374">70%</p> </div>

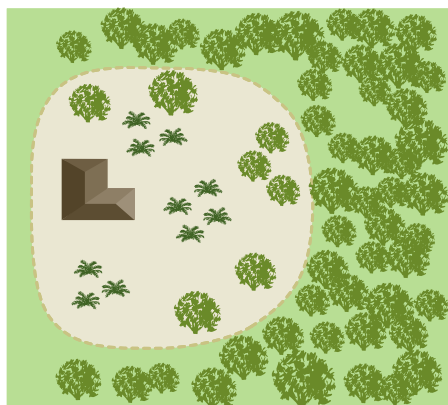
APPENDIX B

Figure 25: Design of an Asset Protection Zone

Hazard on one side



Hazard on three sides



Legend

-  APZ
-  trees
-  shrubs

Regardless of whether an Asset Protection Zone exists in accordance with the acceptable solutions and is appropriately maintained, it should be noted that fire fighters are not obliged to protect an asset if they think the separation distance between the dwelling and vegetation is unsafe.

B.2.4 PLANT FLAMMABILITY

There are certain plant characteristics that are known to influence flammability, such as moisture or oil content and the presence and type of bark. Plants with lower flammability properties may still burn during a bushfire event but may be more resistant to burning and some may regenerate faster post-bushfire.

There are many terms for plant flammability, which should not be confused, including:

- **Fire resistant** – plant species that survive being burnt and will regrow after a bushfire and, therefore, may be highly flammable and inappropriate for a garden in areas of high bushfire risk.
- **Fire retardant** – plants that can absorb more of the heat of the approaching bushfire without burning, compared to more flammable plants.
- **Fire wise** – plants that have been identified and selected based on their low flammability properties and linked to maintenance advice and planting location within a garden.

Although not a requirement of the Guidelines, local governments may develop their own list of fire wise or fire-retardant plant species that suit the environmental characteristics of an area. When developing a recommended plant species list, local governments should consult with ecologists, land care officers or environmental authorities to ensure the plants do not present a risk to threatened ecological communities, threatened or endangered species or their habitat.

When selecting plants, private landholders and developers should aim for plants within the APZ that have the following characteristics:

- grow in a predicted structure, shape and height
- are open and loose branching with leaves that are thinly spread
- have a coarse texture and low surface-area-to-volume ratio
- will not drop large amounts of leaves or limbs that require regular maintenance
- have wide, flat and thick or succulent leaves
- trees that have bark attached tightly to their trunk or have smooth bark
- have low amounts of oils, waxes and resins (which will often have a strong scent when crushed)
- do not produce or hold large amounts of fine dead material in their crowns
- will not become a weed in the area.

Attachment 3

Vehicle Access Standards

*source: Department of Planning, Lands & Heritage,
Planning for Bushfire Guidelines*

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Table 10: Vehicular access technical requirements

	1		2		3		4		5	
TECHNICAL REQUIREMENTS	PERIMETER ROADS		PUBLIC ROADS		EMERGENCY ACCESS WAY ³		FIRE SERVICE ACCESS ROUTE ³		BATTLE-AXE & PRIVATE DRIVEWAYS ¹	
MAP OF BUSH FIRE PRONE AREAS DESIGNATION	Area 2	Area 1	Area 2	Area 1	Area 2	Area 1	Area 2	Area 1	Area 2	Area 1
Minimum horizontal clearance (metres)	12	8	See note 5		10	6	10	6	6	
Minimum vertical clearance (metres)	4.5									
Minimum weight capacity (tonnes)	15									
Maximum grade unsealed road ²	See note 5		See note 5		1:10 (10% or 6°)					
Maximum grade sealed road ^{2,4}					1:7 (14.3% or 8°)					
Maximum average grade sealed road					1:10 (10% or 6°)					
Minimum inner radius of road curves (metres)					8.5					

Notes:

- ¹ Driveways and battle-axe legs to comply with the Residential Design Codes and Development Control Policy 2.2 Residential Subdivision where not required to comply with the widths in this Appendix or the Guidelines.
- ² Dips must have no more than a 1 in 8 (12.5% - 7.1 degrees) entry and exit angle.
- ³ To have crossfalls between 3 per cent and 6 per cent.
- ⁴ For sealed roads only the maximum grade of no more than 1 in 5 (20 per cent) (11.3 degrees) for no more than 50 metres is permissible, except for short constrictions to 3.5 metres for no more than 30 metres in length where an obstruction cannot be reasonably avoided or removed.
- ⁵ As outlined in the Institute of [Public Works Engineering Australasia \(IPWEA\) subdivision guidelines](#), [Liveable Neighbourhoods](#), [Austroads Standards Main Roads standard](#), supplement, policy or guideline and/or any applicable or relevant local government standard or policy.

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B.3.8 PRIVATE DRIVEWAYS

Emergency services vehicles typically operate from the street frontage in areas serviced by reticulated water and where the distance from the public road to the farthest part of the habitable building is no greater than 70 metres.

In the event the habitable building cannot be reached by hose reel from the public road, emergency services vehicles will need to gain access via the driveway to the property. Emergency services vehicles will also need to gain access to the property where access to water is provided by onsite water tanks. In these situations, the driveway and battle-axe access leg (if applicable) will need to be wide enough for access by an emergency services vehicle and a vehicle to evacuate.

It is acceptable for a private driveway to have a carriageway width of four metres with a traversable verge of one metre on either side of the carriageway.

Turn-around areas (Figure 38) should be available for conventional two-wheel drive vehicles and type 3.4 fire appliances and should be located within 30 metres of habitable buildings. Circular and loop driveway design may also be considered.

Figure 30: Design requirements for a turn-around area

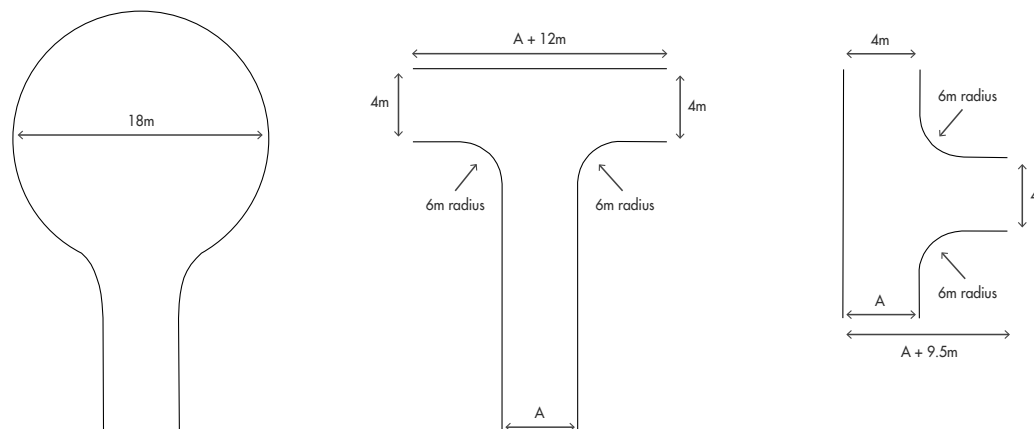
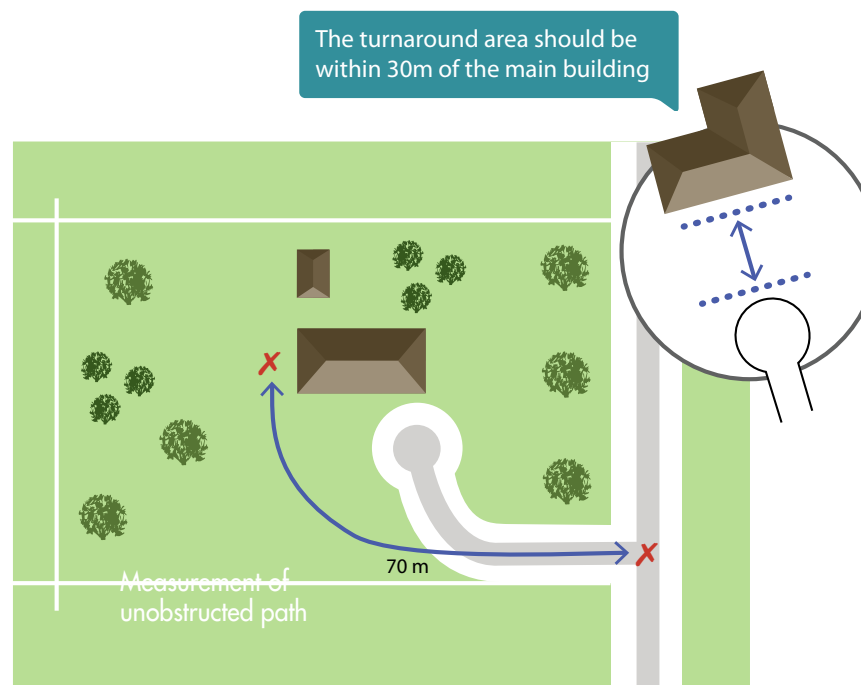


Figure 38: Design requirements for a private driveway where required



Attachment 4

Firefighting Water Tank Standards

*source: Department of Planning, Lands & Heritage,
Planning for Bushfire Guidelines*

APPENDIX B

B.4: WATER SUPPLY

State Planning Policy outcome for Element 4: Water Supply

Ensure that sufficient water is available and accessible for emergency services use, to enable people, property and infrastructure to be defended from bushfire.

B.4.1 CONSTRUCTION AND DESIGN

An above-ground tank and associated stand should be constructed of non-combustible material.

Below-ground tanks should have a 200 millimetres diameter access hole to allow tankers or emergency services vehicles to refill direct from the tank, with the outlet location clearly marked on the surface.

Above and below ground tanks may need to comply with AS/NZS 3500.1:2018.

An inspection opening may double as the access hole provided that the inspection opening meets the requirements of AS/NZS 3500.1:2018.

Where an outlet for an emergency services vehicle is provided, then an unobstructed, hardened ground surface is to be supplied within four metres of any water supply.

B.4.1.1 Pipes and fittings

All above-ground, exposed water supply pipes and fittings should be metal. Fittings should be located away from the source of bushfire hazard and be in accordance with the applicable section below, unless otherwise specified by the local government.

B.4.1.2 Fittings for above-ground water tanks:

- Commercial land uses: 125 millimetres Storz fitting; or
- Strategic water tanks: 50 millimetres or 100 millimetres (where applicable and adapters are available) male camlock coupling with full flow valve; or
- Standalone water tanks: 50 millimetres male camlock coupling with full flow valve; or
- Combined water tanks: 50 millimetres male camlock coupling with full flow valve or a domestic fitting, being a standard household tap that enables an occupant to access the water supply with domestic hoses.

B.4.1.3 Remote outlets

In certain circumstances, it may be beneficial to have the outlet located away from the water supply. In instances in which a remote outlet is to be used, the applicant should consult the local government and DFES on their proposal.

B.4.2 USE OF WATER SUPPLY

Water supply for firefighting in the event of a bushfire can be provided on a lot for use by emergency services or for use by the landowner, if their [Bushfire Survival Plan](#) is to stay and defend their property.

The combination of drinking water and water for firefighting purposes is not recommended, as stagnant water may alter the quality of the drinking water and the emergency services, by law, may not be able to take water from the water supply to suppress a bushfire.

Combining drinking water and water for firefighting purposes is contrary to provisions within clause 4.2.3 of AS/NZS 3500.1:2021.

B.4.3 INDEPENDENT WATER AND POWER SUPPLY

Bushfires can directly impact a water service provider's equipment or pipes. As such, a reticulated water supply may not be reliable due to a reduction in water pressure or loss of supply. Where development is in an area shown as Area 2 on the *Map of Bush Fire Prone Areas* and/or where the local government area has known issues with water supply or pressure, it is recommended that the landowner consider providing a water tank in accordance with **Table 11**, Water supply dedicated for bushfire firefighting purposes.

In non-reticulated water supply areas, it is recommended that any pumping equipment be powered by means other than the electricity network. The pumping equipment could be a diesel or petrol-powered pump, or an electric pump if there is an onsite generator or backup power supply independent of the electricity network grid.

It is recommended that combustion pumps should be a minimum five hp or three kW diesel or petrol-powered pump and should be shielded against bushfire attack.

APPENDIX B

Where an electric pump is used, a backup power supply independent of the electricity network grid should be provided. A 3.7 kW/12k W/h sized battery (14.8 kW/h reserved solely for bushfire will power a 3.7 kW system for four hours) with blackout protection or a generator should be provided.

Table 11: Water supply dedicated for bushfire firefighting purposes

SECTIONS FROM THE PLANNING FOR BUSHFIRE GUIDELINES					
SECTION 5 ² STRUCTURE PLANS AND SUBDIVISION APPLICATIONS		SECTION 6 ² DEVELOPMENT – RESIDENTIAL	SECTION 7 ² DEVELOPMENT – COMMERCIAL & INDUSTRIAL	SECTION 8 ² – DEVELOPMENT – VULNERABLE LAND USES	
One additional lot	10,000 litre water tank per lot	10,000 litre water tank per habitable building	For each habitable building - 10,000 litre per 1,500 m ² of floor space up to 50,000 litre. Provided in a water tank	Camping ground	At the discretion of the local government
Three to 24 lots	10,000 litre water tank per lot ¹ or 50,000 litre strategic water tank				
25 lots or more	50,000 litre per 25 lots or part thereof, provided as a strategic water tank(s) and/or 10,000 litre water tank per lot			Other vulnerable land uses	For each habitable building - 10,000 litre per 500 m ² of floor space up to 50,000 litre. Provided in a water tank

Notes:

¹ Evidence that the identified water supply amounts in either column denoted is to be provided at the relevant planning stage.

² where more than one habitable building is proposed, strategic water tanks are to be provided in accordance with Section 5 requirements and at the discretion of the Local Government.

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B.4.4 STRATEGIC WATER SUPPLIES

Many local governments have a well-developed network of strategic water tanks for firefighting within their local government area. Given this, it is at the discretion of the local government to determine if the water supply within a locality is sufficient to cater for an increasing population when a subdivision is proposed. Local governments are encouraged to work with local emergency services to ensure the water supply needs for firefighting are understood.

Where a structure plan or subdivision proposes to create more than three but fewer than 24 lots, it is at the discretion of the local government whether it requires a strategic water tank or for each lot to be provided with a 10,000-litre tank.

A strategic water tank should preferably be located no more than 10 minutes from the farthest development site (20 minute turnaround time at a maximum). The turnaround time is the time it takes an emergency services vehicle to travel at legal road speeds from a lot to the water supply and back to the lot. Where a strategic water tank has been provided at the subdivision stage, the local government should consider whether the tank has the capacity to serve applications for development approval.

A landowner should enquire with their local government to determine whether a private water tank on their lot will be required.

When there is fragmented ownership of a structure plan area, or when staging of a subdivision is to occur and the local government has determined that a strategic water tank is required, then the first stage should include arrangements for the installation of a strategic water tank and the identification of land to be ceded. This should occur free of cost, without any payment or compensation by the Crown, as a Crown reserve for 'strategic water

supply for firefighting purposes' (if applicable). Where local planning scheme provisions provide for developer contributions for public infrastructure and the local government is supportive, then a cash-in-lieu arrangement may be established for the provision of a strategic water tank.

B.4.5 LOCATION OF WATER TANKS AND HYDRANTS

Surrounding vegetation should be considered when locating a water tank. Avoid locations where the tank will be situated underneath existing vegetation or where vegetation will grow against or overhang the tank, (**Figure 39**). Where a tank is on the bushfire hazard side of a building, sufficient shielding for the protection of firefighters should be provided. In addition to the tank location, the fitting should be positioned and/or shielded from the bushfire hazard to allow access by emergency services.

In areas serviced by reticulated water, where the distance from the public road to the farthest part of the habitable building is greater than 70 metres, emergency services vehicles will need to gain access within the property and be provided with a water supply for firefighting purposes. This is because access to reticulated water (fire hydrants) is not possible further than 70 metres, due to the length of the hose reel.

B.4.6 OUTCOMES BASED APPROACH

A dam, river or other source may be considered a firefighting water source for emergency services if it complies with [DFES guidelines for acceptable sources of water](#), and it can be demonstrated that the water level will be maintained above the top of the highest fire brigade suction point.

Approval for the use of these types of water supplies is on a case-by-case basis and at the discretion of the decision-maker, in consultation with emergency services and local government.

Figure 39: A good and bad example of landscaping around a water tank



Attachment 5

Bushfire Emergency Plan

Bushfire Emergency Plan


Tourist Development and Caravan Park

This plan is designed to assist site management to protect occupants in the event of a bushfire emergency.

Document Control

Ref: 250910_BEP	Date	Details
A	30 Oct 2025	Consultation / development application.
B	11 Mar 2026	Updated site description.

Property Details

Address	No. 93 Mogumber-Yarawindah Rd, Mogumber	
Site manager	Pauline Bantock Phone. 0416131837 Or alternative caretaker, as appointed.	
Type of facility	Tourist development and caravan park.	
Transportation	Private vehicles to and from site.	
Bushfire Consultant	Jeremy Durston BPAD-39525 Level 3 Bushfire West Pty Ltd	

Emergency Contacts & Information Sources

Name of Organisation	Office/Contact	Contact Details
Fire, Police, Ambulance	Fire or Emergency	000
Department of Fire & Emergency Services (DFES)	Emergency information	13 DFES (13 33 37)
Emergency WA	Warnings and incidents	www.emergency.wa.gov.au
WA Police	Non-emergency police assistance	131 444
Main Roads	Road Information & closures	138 138 www.mainroads.wa.gov.au
ABC Radio	Bushfire warnings & advice	Radio 720 AM

Emergency Responses

Primary Response:	Evacuate to a safer place prior to any bushfire impact.
Secondary Response: (last resort only)	Shelter within accommodation buildings if external conditions are unsafe.
	Shelter within accommodation buildings if Emergency Services or Police advise a safe evacuation route is not available.

Bushfire Emergency Plan

Responsibilities to Supervise Occupants

The site manager's responsibilities are:

- Maintain bushfire awareness and familiarity with bushfire emergency procedures.
- Delegate to an onsite caretaker as appropriate.
- Ensure site occupants understand the primary and secondary emergency responses.
- Maintain registers of occupants with current contact details.
- Ensure occupants have appropriate transport in case of an emergency.
- Monitor local Fire Danger Ratings and Bushfire Emergency Warnings.
- Ensure the bushfire emergency responses are enacted when required.
- Confirm an appropriate off-site location for evacuation from bushfire.
- Contact DFES to advise the response taken during a bushfire emergency.

Required Equipment for the Site

The site manager is to ensure the following equipment is installed and maintained:

- Site manager and any caretaker to have mobile phones with the Emergency WA and local ABC radio apps installed and with contact details for short-term occupants.
- Dry chemical fire extinguishers (e.g. 4kg) located near each kitchen area. The fire extinguishers are to be charged and in working order with attached instructions for use.
- A fire blanket is to be located in each kitchen area.
- Building smoke alarms are to be installed in accordance with the National Construction Code.
- Provide external water hoses capable of reaching all parts of residential buildings, and/or as required by regulation applicable to caravan sites and camping areas.
- A bushfire emergency kit including bushfire procedures and basic first aid supplies.
- A portable radio (with batteries) labelled for the local AM radio emergency frequency.

Seasonal Property Maintenance of the Site

The site manager is to ensure the following seasonal maintenance is undertaken:

- Comply with the adopted Bushfire Management Plan for the site.
- Comply with any relevant bushfire notice issued by the Shire of Victoria Plains.
- Prune trees, remove dead material from vegetation and trim grass to below 100mm.
- Clear the site of fallen leaves and litter.
- Trim any vegetation near driveways to ensure clear access for vehicles.

Bushfire Emergency Plan

The warning levels for bushfires are:

Advice	Watch and Act	Emergency	All Clear
			
A fire has started but there is no immediate threat to lives or homes. Be aware and keep up to date.	There is a possible threat to lives or homes. You need to leave or get ready to defend – do not wait and see.	There is a threat to lives or homes. You are in danger and need to take immediate action to survive.	The danger has passed and the fire is under control. Take care and remain vigilant in case the situation changes.

The Australian Fire Danger Rating System (AFDRS) levels are:

Moderate: Plan and prepare.

Most fires can be controlled. Stay up to date and be alert for fires in your area.

High: Be ready to act.

Fires can be dangerous. Decide what you will do if a fire starts. Leave bushfire risk areas if necessary.

Extreme: Take action now to protect your life and property.

Fires will spread quickly and be extremely dangerous. Put your bushfire plan into action. If you and your property are not prepared to the highest level, plan to leave early.

Catastrophic: For your survival, leave bushfire risk areas.

These are the most dangerous conditions for a fire. Homes cannot withstand fires in these conditions and if a fire starts and takes hold, lives are likely to be lost. Stay safe by going to a safer location early in the morning or the night before.

Where to find ratings and warnings:

- Emergency WA emergency.wa.gov.au
- DFES Emergency Information Line 13 DFES (13 3337)
- ABC Radio or 6PR - Your local radio frequency
- DFES Facebook facebook.com/dfeswa



EMERGENCY CONTACTS :

- Fire (DFES), Police, ambulance: dial 000.

PRE-EMPTIVE MEASURES :

- Prepare to evacuation if a bushfire **'Advice'** warning is issued.
- Prepared to evacuate if an 'Extreme' or 'Catastrophic' fire danger rating is forecast.
- Check bushfire emergency kit with first aid supplies, and collect any prescribed medications [asthma, allergy, etc].
- Clear flammable materials near the accommodation.
- Consider early evacuation to a safe location, particularly for any occupants with special needs.

EVACUATE IMMEDIATELY :

- Evacuate immediately if a **'Watch and Act'** warning is issued, provided it is safe to do so.
- Evacuate immediately if an **'Emergency'** warning is issued, provided it is safe to do so.
- Evacuate if you are directed to evacuate by Emergency Services or Police.
- Evacuate if a smoke plume or smoke column is observed in the vicinity.
- Report evacuation to DFES (dial 000).

LAST RESORT SHELTER :

- As a 'last resort' shelter within buildings during a bushfire if external conditions are unsafe and you cannot evacuate.
- Shelter within buildings if Emergency Services or Police advise a safe evacuation route is not available.
- Report shelter-in-place to DFES (dial 000).



IN CASE OF FIRE REMEMBER RACE

- Rescue**
any persons in danger
- Alarm**
alert others by raising alarm
- Contain**
fire & smoke by closing doors
- Evacuate**
or extinguish fire

FIRE EXTINGUISHER REMEMBER PASS

- Pull** the pin
- Aim** at base of fire
- Squeeze** the handle
- Sweep** side to side



EMERGENCY CONTACTS:

Fire, Police, Ambulance: DIAL 000

Bushfire information, warnings and advice.
Road closures & evacuation centres:

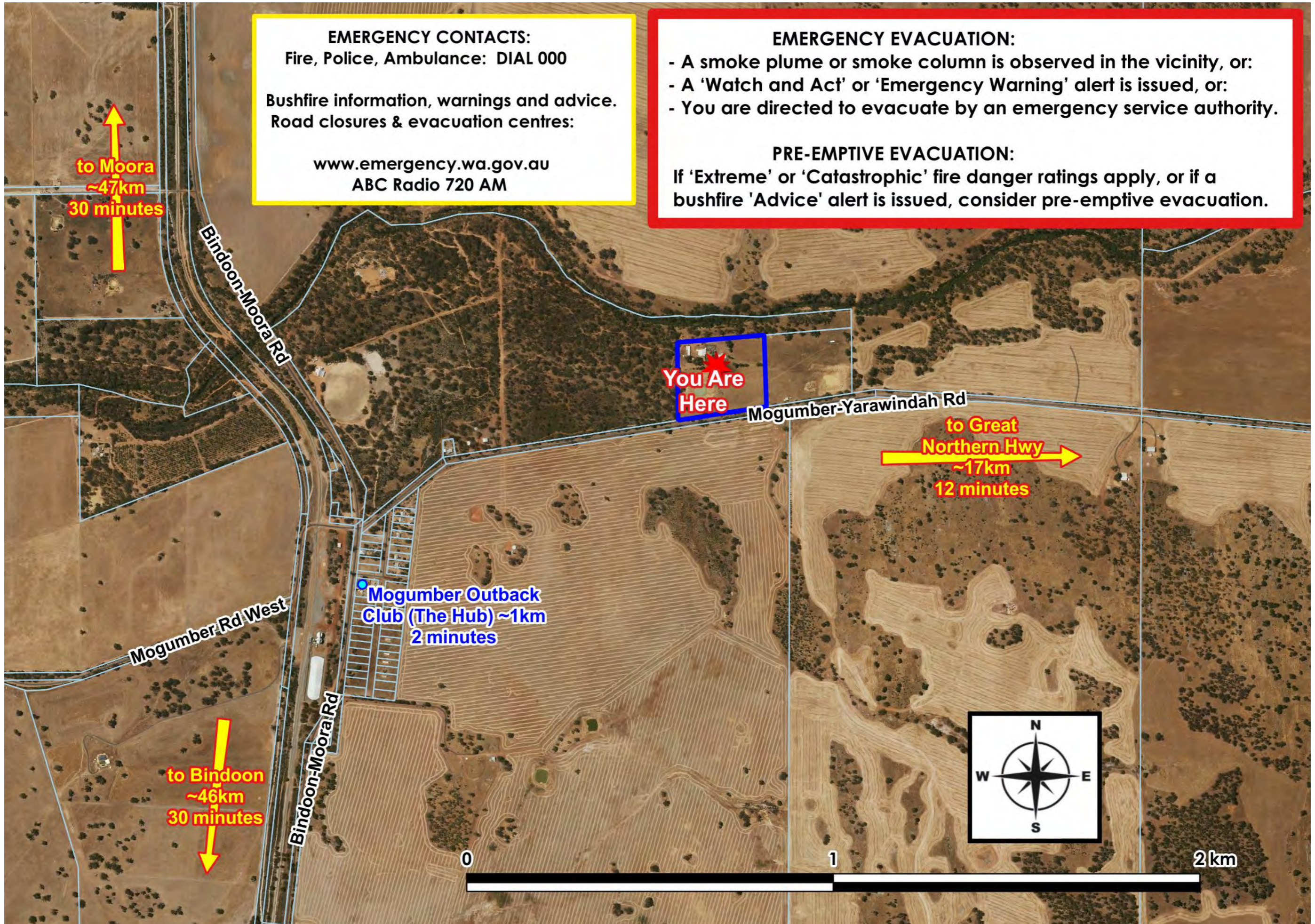
www.emergency.wa.gov.au
ABC Radio 720 AM

EMERGENCY EVACUATION:

- A smoke plume or smoke column is observed in the vicinity, or:
- A 'Watch and Act' or 'Emergency Warning' alert is issued, or:
- You are directed to evacuate by an emergency service authority.

PRE-EMPTIVE EVACUATION:

If 'Extreme' or 'Catastrophic' fire danger ratings apply, or if a bushfire 'Advice' alert is issued, consider pre-emptive evacuation.



to Moora
~47km
30 minutes

You Are Here

to Great Northern Hwy
~17km
12 minutes

to Bindoon
~46km
30 minutes

Mogumber Outback Club (The Hub) ~1km
2 minutes

0 1 2km

